

Aitkin County Holding Tank Design

23-200

Property Owner: Macisland Inc. (Dave Mackmann) Date: 2/6/2024 Cell: 515-314-8059
Mailing Address: 124 53rd St. Home Phone #:
City: Des Moines State: IA Zip: 50312
Site Address: 33289 425nd Pl Parcel Number: 07-0-013200
City: Aitkin State: MN Zip: 56431
Driving Directions if no address issued :

Legal Description : .27 Ac Of Tract in lot 1
Sec : 6 Twp.: 46 Range : 27 Twp. Name : Farm Island
Lake / River : Cedar Lake / River Classification : RD

FLOW DATA

Number of Bedrooms : 2
Dwelling Classification : I
System Type : II
Gallons per Day (GPD) : 300

Estimated Flow in Gallons per Day (GPD)

Table with 4 columns: Bedrooms, Class I, Class II, Class III. Rows show flow values for 2-8 bedrooms.

WELLS

Deep Well : None
Shallow Well : Existing Shallow

Wells to be sealed (if Applicable) ?

SETBACKS

Tank(s) to Well : +50' Drainfield to Well : NA Sewer Line to Well :
Tank(s) to House : +10' Drainfield to House : NA Air Test NO
Tank(s) to Property Line : +10' Drainfield to Property Line : NA

Additional System Notes and Information:

Existing Holding tanks leaking. Lot is too small for a type I septic system. Owner Has received permission from all the landowners of the private road to install holding tanks with-in 6 ft of private road.

Designer Name : Jeff Brummer License Number : L-1347
Address : 14650 Agate Ridge Road City : Brainerd State : MN
Zip Code : 56401 Home Phone # : Cell: 218-821-0704
E-Mail Address : brummerseptic@gmail.com

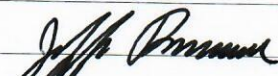
Designer Signature : [Signature] Date: 2/6/2024

Aitkin County { Design Notes }

Property Owner: Macisland Inc. (Dave Mackmann) Date: 2/6/2024 Designer's Initials : JB
33289 425th Pl. Aitkin MN 56431 Pin : 07-0-013200

Existing House will have 520 Pump tank and two 1500 gal. holding tank system.
Lot is too small for Type I system. Existing shallow well will be + 50' from tanks.
Existing tank / tanks to be pump and removed, they are leaking.
Install 520 Jacobson pump tank with gravity flow from house, Waterproof tank and insulate tank.
Install 4" clean-out near house. Install electric alarm on pump tank.
Install pump with 15 GPM at 12 ft of head. Install pump with approx. 50 gallons per dose.
Recommend setting pump floats at 50% of tank to maintain weight in tank.
Install 2" supply pipe with an anti siphon out-let into holding tank. (inverted elbow or a tee).
Install 1st holding tank with inlet approx. 10" above existing grade, 2nd tank inlet approx. 4" about existing grade.
Install with gravity flow from 1st tank to 2nd tank. Insulate tanks.
Recommend 24" of cover soil on all tanks for ballast.
Raise at least one manhole per tank to above finished grade. (Recommend 6" above for winter access).
Install electric alarm in 2nd holding tank at 50% of tanks capacity, approx. 22" inches
this will leave approx. 750 gallons of reserve capacity. (Owner must pump tanks before there full)
Recommend installing both alarms inside house.
Tanks will meet 50ft. setback from the well, and will meet 10 ft. setback to all property lines.
Tank will meet 10 ft. setback to buildings. Tanks will meet setback to lake 75'.
Owner has received permission from all landowners of the private road to install tanks with-in 6 ft of existing road way end.
Home owner has a pumping agreement with local pumper on file.

- Setbacks are
- 50 ft. from well
 - 10 ft. from lot line
 - 6 ft. from Private road easement (with permission)
 - 10 ft. from structure.
 - 75 ft Cedar Lake setback.

Designer Name : Jeff Brummer License Number : L-1347
Address : 14650 Agate Ridge Road City : Brainerd State : MN
Zip Code : 56401 Home Phone # : _____ Cell: 218-821-0704
E-Mail Address : brummerseptic@gmail.com
Designer Signature :  Date: 2/6/2024

Aitkin County { Holding Tank Design }

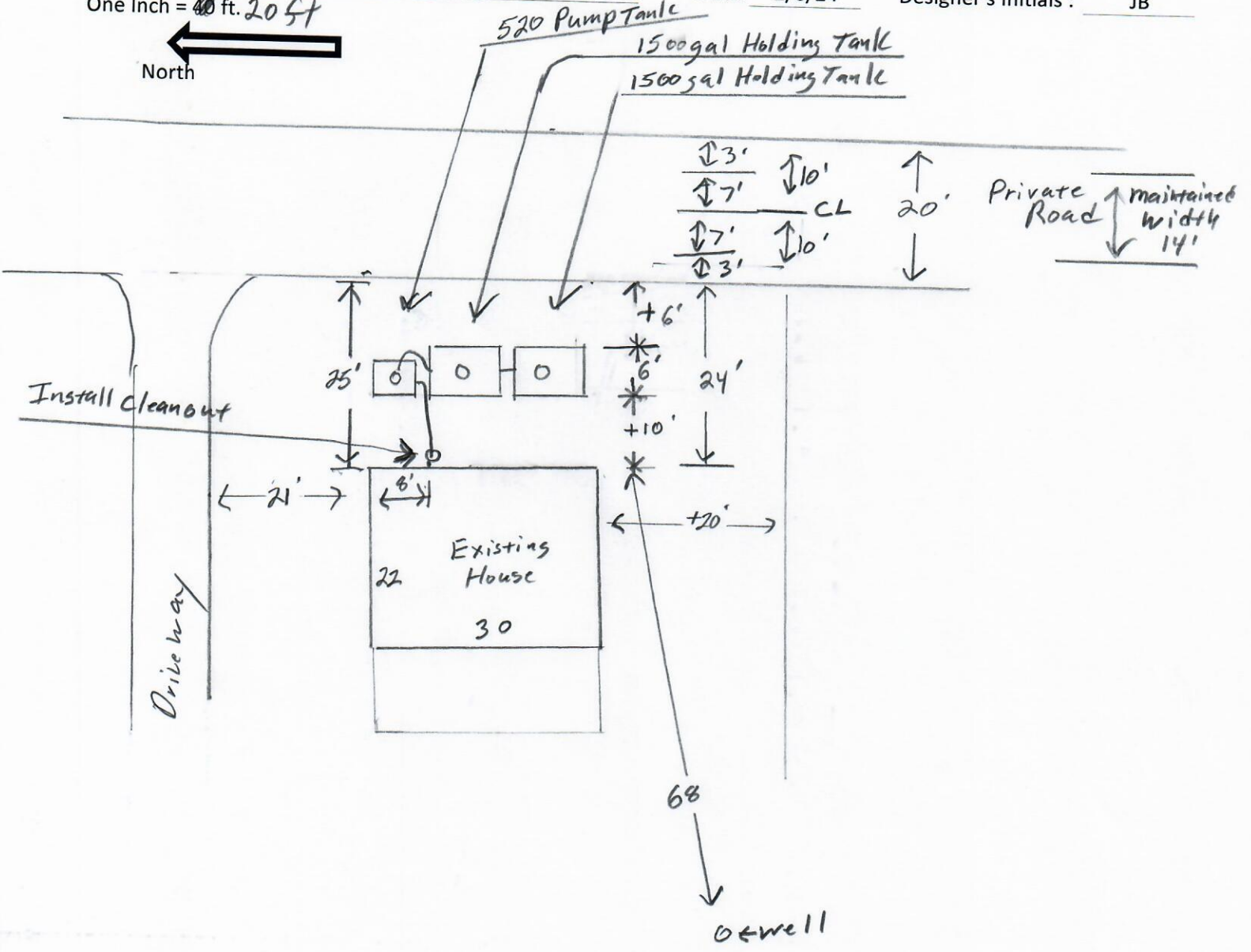
Property Owner: Macisland Inc. (Dave Mackmann)

Date: 2/6/24

Designer's Initials : JB

One Inch = ~~40~~ ft. 20.5

North



Cedar Lake Elv. = 93.3' on 10/6/2023

Center Line of Road Near NE corner of House Elv. = 100.8'

Please show all that apply (Existing or Proposed): Please Draw to Scale with North to Top or Left Side of Page:

Wells within 100ft. Of Drain field.

Water lines within 10 ft. of Drain field.

Drain field Areas:

Disturbed/Compacted Areas

Component Location

OHW ordinary high water

Lot Easements

Access Route for Tank Maintenance

Property Lines

Structures

Setbacks

Elevations : Benchmark Elevation:

Elv. = 100' Nail on Tree SE lot corner

Pump tank grade Elv. = 99.1'

Existing Grade at NE corner of house Elv. = 97.9'

Estimated Pump tank inlet Elv. = 97.4'

Estimated sewer pipe at house Elv. = 97.6'

Estimated 1st Holding tank Inlet Elv. = 99.8'

Existing tank grade Elv. = 99.1'

Estimated 2nd Holding tank Inlet Elv. = 99.4'

Existing tank inlet Elv. = 97.4'

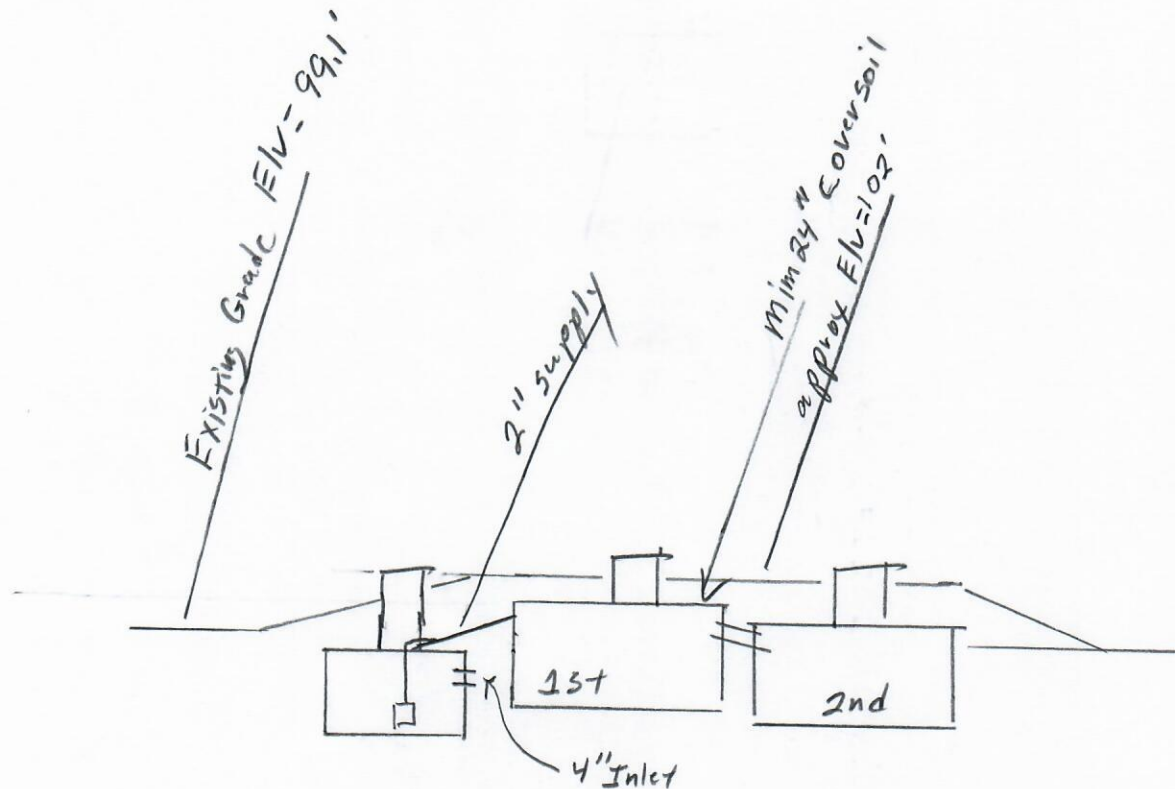
Aitkin County { Holding Tank Design }

Property Owner: Macisland Inc. (Dave Mackmann)

Date: 2/6/24

Designer's Initials : JB

One Inch = 40 ft.



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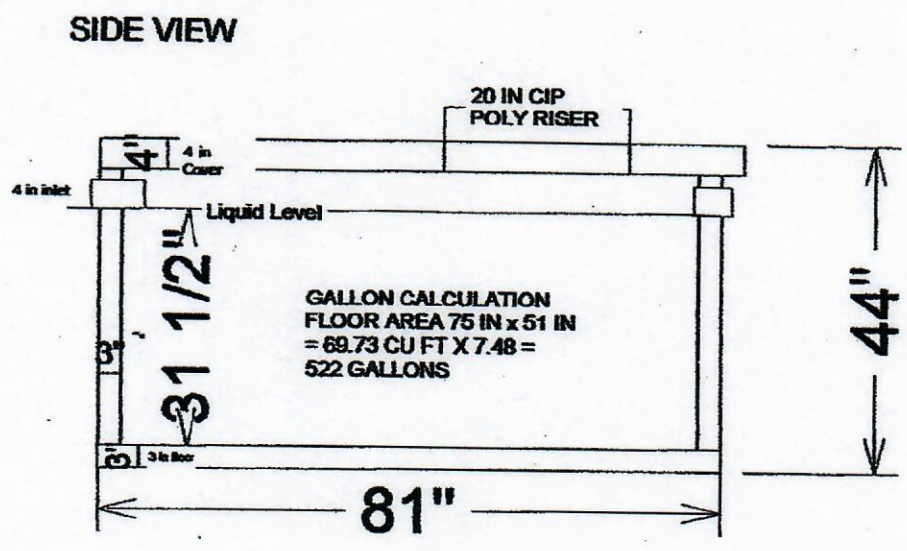
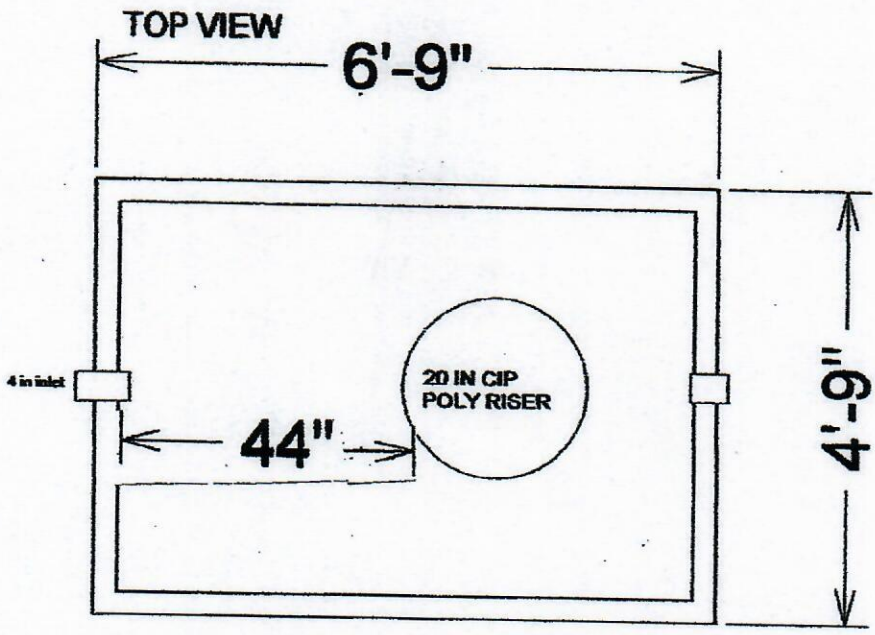
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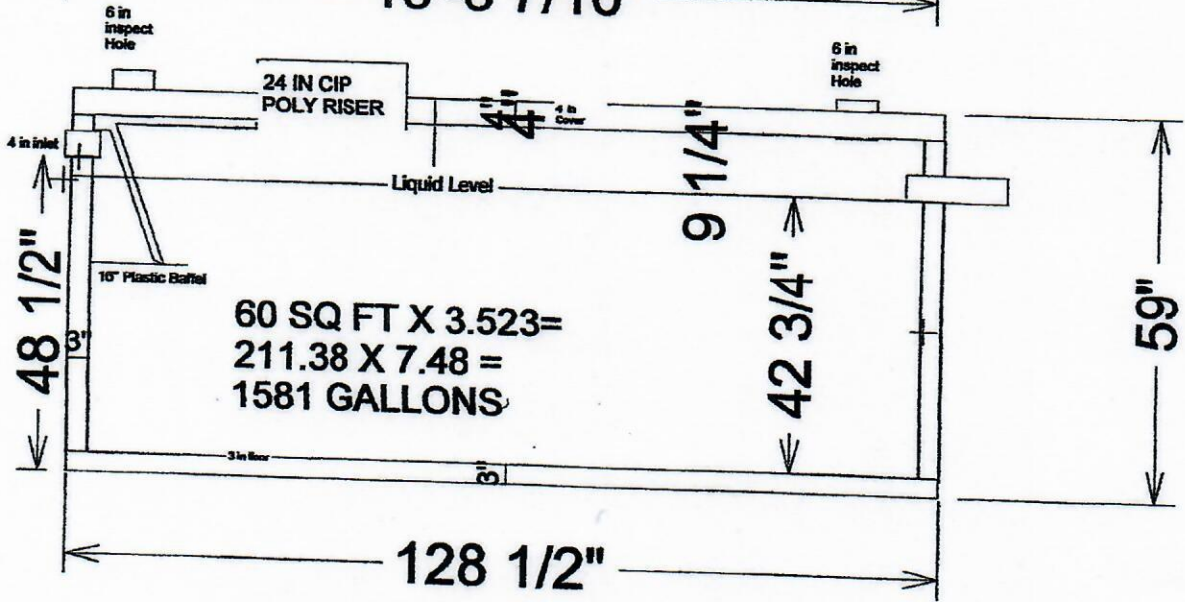
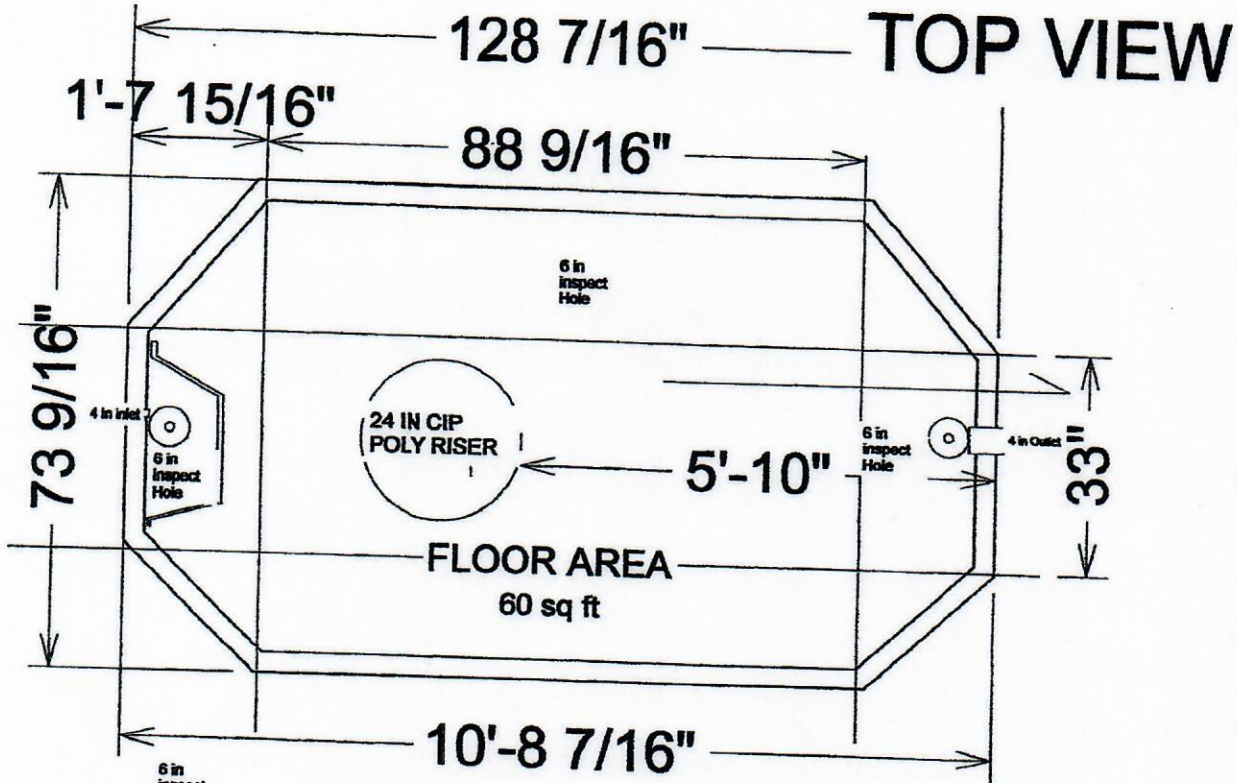
520 Gallon Pump Tank



522 gals. / 31.5" = 16.57 GPI

**Drawings Owned BY Jacobson Precast, Inc.
36641 HWY 169, Aitkin, Mn 56431
DDo not copy drawings without permission of the Owner**

1500H Holding Tank



35.08 gallons per. inch

SIDE VIEW

Drawings Owned BY Jacobson Precast, LLC
36641 HWY 169, Aitkin, Mn 56431
Do not copy drawings without permission of the Owner

HOLDING TANK PUMPING SERVICE AGREEMENT

PID# 07-0-013200

Permit# _____ Address 33289 425th Pl. Aitkin Mn 56431

THIS AGREEMENT entered into by and between Aitkin County Registered Septic Tank Pumper, Timber Lakes Septic Service hereinafter referred to as "Contractor", and Macisland Inc. hereinafter referred to as "Homeowner".

WHEREAS, Homeowner desires and is required to retain individual sewage treatment system holding tank services to protect the environment and to obtain a certificate of compliance from Aitkin County; and

WHEREAS, the Contractor desires to provide sewage treatment system pumping services to Homeowner as necessary and in accordance with the terms and conditions outlined herein.

NOW THEREFORE, in consideration of the mutual promises contained herein, Parties do hereby agree as follows:

1. **TERM.** The term of this Agreement shall be from _____ to final installation of an Aitkin County approved sewage treatment system or connection to a Municipal Sewage Treatment System, unless earlier terminated as provided herein. The parties understand and agree that this Agreement is intended to arrange for the provision of pumping services so that Homeowner may occupy the home pursuant to a certificate of compliance to be issued by the Aitkin County Environmental Services Department upon execution of this Agreement. Homeowner further agrees that at the earliest possible date, Homeowner shall have a permanent sewage treatment system installed in accordance with the Aitkin County Subsurface Sewage Treatment System Ordinance and as approved by the Aitkin County Environmental Services Department or connect to a Municipal Sewage Treatment System. Upon approval by the County of Aitkin of the individual sewage treatment system or connection to a municipal sewer, or approval by Aitkin County Environmental Services of an amended or different contract, this Agreement shall terminate.

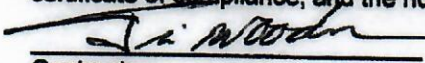
2. **FREQUENCY OF PUMPING.** Homeowner agrees that he/she shall not allow the holding tank to overflow or discharge in any manner. Contractor and Homeowner agree that the holding tank shall be pumped in accordance with the following:

- Tank size (gal.) _____ / (number of household occupants multiplied by 75 gallons per day) = frequency of pumping; or
- Within 24 hours of indication by tank alarm of lack of capacity (applicable only if system has a functional alarm);
- Whichever is greater

Contractor agrees to provide pumping services according to the regular pumping schedule or as needed to prevent discharge. Homeowner shall compensate Contractor as agreed by the parties for pumping services rendered.

3. **INSPECTION.** Holding tanks will be inspected by a licensed pumper at the time of servicing for leaks below the operating depth and whether tank tops, riser joints, and connections leak through visual evidence of major defects.

4. **REPORTING.** Grievances of Homeowner or Contractor shall be reported to the Aitkin County Environmental Services Department by Homeowner or Contractor. Homeowner and Contractor understand that failure to have holding tank pumped as herein specified or the discharge of any contents from the holding tank, regardless of fault, may result in the suspension, cancellation or revocation of the certificate of compliance, and the homeowner may be required to vacate the premises.


Contractor

Date 2/6/2024

Homeowner

Date _____

Timber Lakes Septic Service (218) 927-6175

1037 1st St. NW Aitkin MN 56431
P.WZSHARE\Forms\Pumping Agreement.DOC\Pumping Agreement

Timber Lake Septic Service (218) 927-6175

Macisland Inc
Dave Mackamann
515-314-8059
1224 53rd St.
Des Moines IA 50312



Map may not be valid at this scale. Data was mapped at an accuracy of 1:24,000 so any representation of the data at a larger scale is not advised.

These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

Mackaman



Date: 9/19/2023

0 0.003 0.006 mi 1 inch = 47 feet

Web AppBuilder for ArcGIS

1:564



Detailed Parcel Report

Parcel Number: 07-0-013200

General Information

Township/City: FARM ISLAND TWP
 Taxpayer Name: MACISLAND, INC
 Taxpayer Address: MACKAMAN, JOHN R
 124 53RD ST
 DES MOINES IA 50312
 Property Address: 33289 452nd Pl
 Township: 46 Lake Number: 1020900
 Range: 27 Lake Name: CEDAR LAKE (AITKIN/FI TWPS) *RD.*
 Section: 6 Acres: 0.27
 Green Acres: No School District: 1.00
 Plat:
 Brief Legal Description: .27 AC TRACT IN LOT 1 IN DOC 389213

Tax Information

Class Code 1: Non-Comm Seasonal Residential Recreational *@HW 1200.3.*
 Class Code 2: Unclassified
 Class Code 3: Unclassified *1004R 1202.4.*
 Homestead: Non Homestead
 Assessment Year: 2023

Estimated Land Value: \$96,000.00
 Estimated Building Value: \$72,300.00
 Estimated Total Value: \$168,300.00
 Prior Year Total Taxable Value: \$137,600.00
 Current Year Net Tax (Specials Not Included): \$760.00
 Total Special Assessments: \$0.00
 **Current Year Balance Not Including Penalty: \$380.00
 Delinquent Taxes: No

* For more information on delinquent taxes, please call the Aitkin County Treasurer's Office at 218-927-7325.

** Balance Due on a parcel does not include late payment penalties.