

# WEALTHWOOD RV PARK BATHHOUSE & CLUBHOUSE AITKIN, MN

9-20-23

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

TRAVIS MILLER DATE: 9-20-23 LIC. # 45743

## CODE DATA:

**APPLICABLE CODES:**  
2018 INTERNATIONAL BUILDING CODE  
2020 MN BUILDING CODE  
2020 MN STATE FIRE CODE  
2020 MN ENERGY CODE  
2020 MN ACCESSIBILITY CODE

**BUILDING AREA:**  
NEW BUILDING - 2,792 S.F.  
TOTAL - 2,792 S.F.

**OCCUPANCY CLASSIFICATION:**  
A-3 - ASSEMBLY (POOL, NO SPECTATOR SEATING)  
A-2 - ASSEMBLY (FUTURE BANQUET HALL)  
M - MERCANTILE

**OCCUPANCY SEPARATION:**  
PER SECTION 508.3  
NON SEPARATED OCCUPANCIES  
(MOST RESTRICTIVE HEIGHT & AREAS REQUIRED)  
(MOST RESTRICTIVE FIRE SPRINKLER REQUIREMENTS)  
(A-2 OCCUPANCY = MOST RESTRICTIVE)

**HORIZONTAL ASSEMBLIES AT FLOORS:**  
NOT APPLICABLE

**SHAFT ENCLOSURES:**  
NOT APPLICABLE

**FIRE WALLS:**  
FUTURE 2 HOUR AT BANQUET HALL

**EXTERIOR WALLS:**  
NOT APPLICABLE

**FIRE PARTITIONS (CORRIDORS):**  
1 HOUR  
FUTURE CORRIDORS (OCC. LOAD >30)

**ALLOWABLE AREA:**  
PER TABLE 503  
CONSTRUCTION TYPE: VB - NON- SPRINKLERED

GROUP A-3 - 6,000 S.F. PER STORY (MOST RESTRICTIVE)  
SPRINKLER INCREASE - NOT APPLICABLE  
FRONTAGE INCREASE - 4,500 S.F. (75%)  
TOTAL AREA = 2,792 S.F. < 10,500 ( OK)

**ALLOWABLE HEIGHT:**  
TABLE 504.4  
GROUP A-2 (MOST RESTRICTIVE)  
ALLOWABLE HEIGHT = 1 STORIES (20' EA.)  
SPRINKLER INCREASE = NA  
ACTUAL - 1 STORIES - 9'-0" (OK; )

**OCCUPANT LOAD:**  
A-3 OCCUPANCY

ROOM NAME	OCCUPANT LOAD	SUBTOTAL
POOL MECHANICAL	182/300	1.0
GUEST LAUNDRY	120/150	1.0
MECHANICAL	119/300	1.0
MEN'S LOCKER ROOM	430/50	9.0
CLUBHOUSE	566/60	9.0
WOMEN'S LOCKER ROOM	430/50	9.0
KITCHEN	245/200	1.0
<b>TOTAL</b>	<b>= 31 OCCUPANTS</b>	

**POOL OCCUPANT LOAD:**  
A-3 OCCUPANCY

POOL DECK = 302 OCCUPANTS  
SWIMMING POOL = 16 OCCUPANTS  
HOT TUB = 3 OCCUPANTS

**FIRE SPRINKLERS:**  
TABLE 903.2.1.2  
GROUP A-3 (MOST RESTRICTIVE)  
NOT REQUIRED, 2,792 S.F. < 12,000 S.F.

**FIRE ALARM:**  
TABLE 907.2.1 GROUP A  
NOT REQUIRED, 31 OCCUPANTS < 300  
(FUTURE ADDITION MAY REQUIRE FIRE ALARM)

**DRAFTSTOPPING:**  
NOT REQUIRED, ATTIC AREA < 3,000 S.F.

**FIRE BLOCKING:**  
REQUIRED VERTICALLY AT WALLS OVER 10'

**FLAME SPREAD/SMOKE DEVELOPED:** MBC TABLE 803.13

OCC. GROUP	EXITS	CORRIDORS	ROOMS
A-2	A (0-25/0-450)	A (0-25/0-450)	B (26-75/0-450)

## EXIT NOTES:

- PER TABLE 1006.2.1 X > 49 OCCUPANTS PER STORY = 2 EXITS REQUIRED  
7 EXITS PROVIDED
- EXIT WIDTH:  
77 X 0.2 = 15.4 INCHES REQUIRED  
PROVIDED 235.375"
- TRAVEL DISTANCE TO EXIT:  
PER TABLE 1006.2 (COMMON PATH) - 75'-0"  
ACTUAL MAXIMUM: 50'-0"
- MIN. DISTANCE BETWEEN EXITS:  
"1/2 THE DIAGONAL" = 46'-6"  
DISTANCE BETWEEN EXITS = 83'-7"

## TOILET ROOM REVIEW:

PER MBC TABLE 2902.1

**WATER CLOSETS REQUIRED:**  
1 PER 75 OCCUPANTS EACH SEX (2 REQUIRED - EACH SEX)  
PROVIDED: 4 MENS, 4 WOMENS

**LAVATORIES REQUIRED:** 1 PER 200 (1 REQUIRED - EACH SEX)  
PROVIDED: 2 EACH SEX

**SHOWERS REQUIRED:** 0  
PROVIDED: 3 EACH SEX, (1) ROLL-IN PER SEX

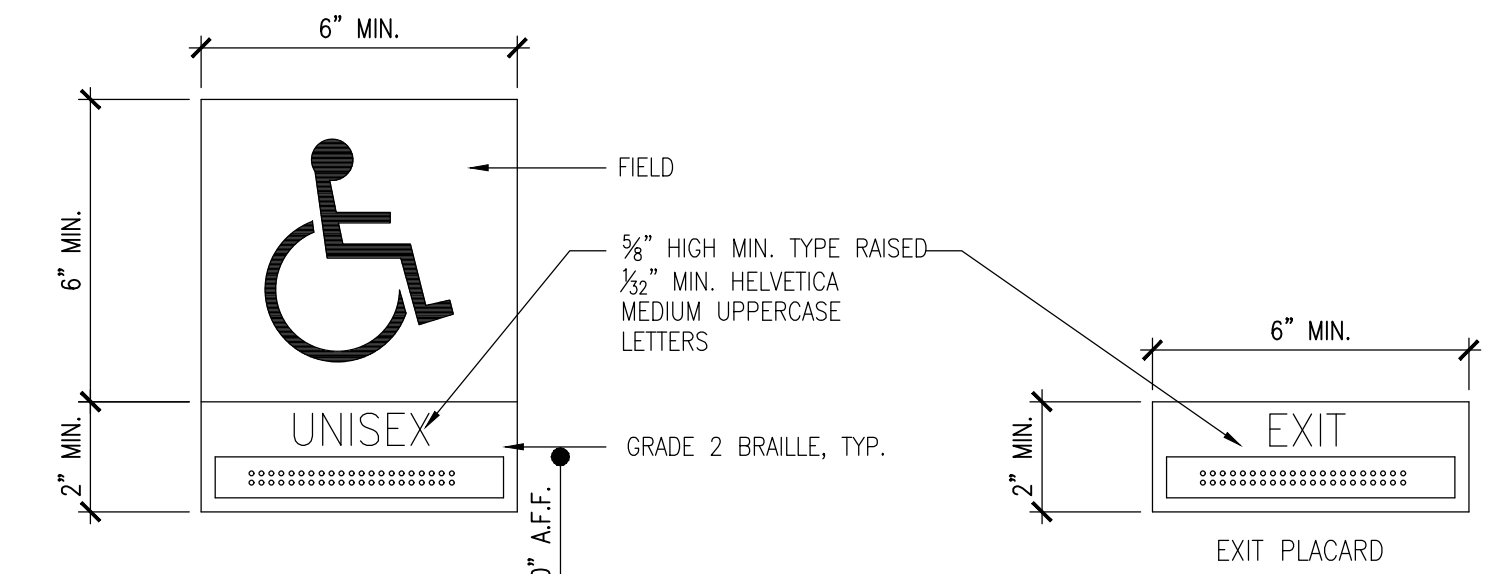
**DRINKING FOUNTAIN:** REQUIRED FOR FUTURE OCCUPANCY  
(1) HI-LOW PROVIDED

**OTHER REQUIRED:** 1 SERVICE / MOP SINK  
PROVIDED: 1

**POOL CODE:** (1) RESTROOM WITH FULL SHOWER REQUIRED

## MISC. CODE NOTES:

- INTERIOR DOOR HARDWARE TO BE ADA COMPLIANT LEVER STYLE LATCHES
- PROVIDE A MINIMUM OF (3) FIRE EXTINGUISHERS, SEE PLAN
- SEE REFLECTED CEILING PLAN FOR EMERGENCY EXITING & LIGHTING, VERIFY W/ DESIGN BUILD, ELECTRICAL CONTRACTOR
- PROVIDE ADA COMPLIANT SIGNAGE AT ALL ROOMS, SEE 2/T1 & PLAN FOR LOCATION.
- PROVIDE ADA COMPLIANT SIGNAGE AT EACH EXIT ON THE LATCH SIDE W/ BRAILLE, READING "EXIT"
- DRAFTSTOPPING, NOT REQUIRED, ADDITION ATTIC SPACE < 3,000 S.F.



**NOTE:**  
1. COLOR & CONTRAST SHALL BE DISTINCTLY DIFFERENT FROM THE COLOR & CONTRAST OF THE DOOR. VERIFY WITH ARCH. PRIOR TO FABRICATION  
2. LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED, CONTRASTING IN COLOR, AND HAVE A WIDTH-TO-HEIGHT RATIO OF BETWEEN 1:5 AND 1:10, AND RAISED 1/32" MIN. AND BE ACCOMPANIED BY BRAILLE.

## 2 ADA ROOM SIGNAGE

### ENERGY CODE:

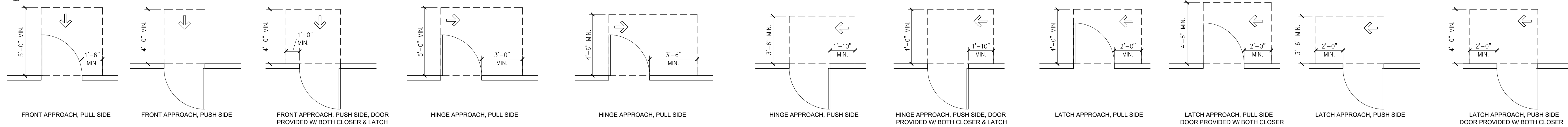
PER TABLE C402.1.2 (CLIMATE ZONE 7)

ROOF	WALLS ABOVE GRADE	FLOOR	DOOR	WINDOW	WINDOW	SHGC	(ATTIC & OTHER): (WOOD FRAMED): (HEATED SLAB): (ENTRANCE DOOR): (FIXED WINDOW): (OPERABLE WINDOW): (DOORS & WINDOWS):	REQUIRED: U-0.021 REQUIRED: U-0.051 REQUIRED: F-0.40 REQUIRED: U-0.77 REQUIRED: U-0.29 REQUIRED: U-0.37 REQUIRED: .45	PROVIDED: U-0.021 PROVIDED: U-0.048 PROVIDED: PROVIDED: U-0.770 PROVIDED: U-0.26 PROVIDED: U-0.26 PROVIDED: .22
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PER TABLE C402.2 (CLIMATE ZONE 7)

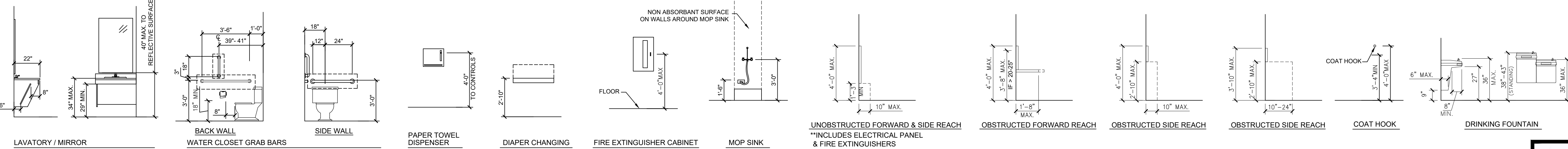
ROOF	WALLS ABOVE GRADE	FLOOR	DOOR	WINDOW	WINDOW	SHGC	(ATTIC & OTHER): (WOOD FRAMED): (HEATED SLAB): (ENTRANCE DOOR): (FIXED WINDOW): (OPERABLE WINDOW): (DOORS & WINDOWS):	REQUIRED: R-49 REQUIRED: R-20 + 3.8ci REQUIRED: R-20 (MIN. 24") REQUIRED: U-0.77 REQUIRED: U-0.29 REQUIRED: U-0.37 REQUIRED: .45	PROVIDED: R-49 PROVIDED: R-21 + 3.6ci PROVIDED: R-20 PROVIDED: U-0.770 PROVIDED: U-0.26 PROVIDED: U-0.26 PROVIDED: .22
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## 1 CODE REVIEW



## 3 REQUIRED CLEARANCES AT DOORS

1/4" = 1'-0"



## 4 STANDARD ADA MOUNTING HEIGHTS

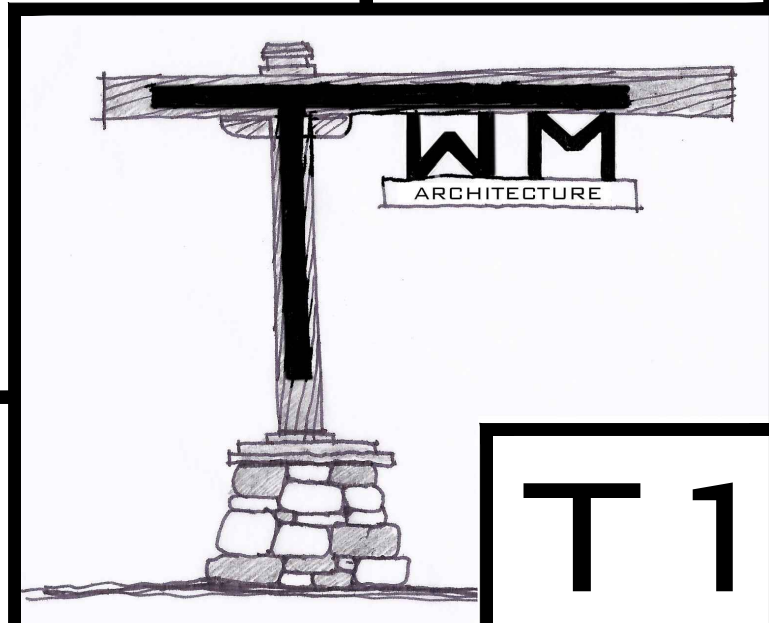
1/4" = 1'-0"

## DRAWING INDEX

T1 - TITLE SHEET & CODE INFORMATION  
A0 - OVERALL FLOOR PLAN  
A1 - FOUNDATION PLAN & DETAILS  
A2 - FLOOR PLAN

A3 - WALL TYPES, DOOR & WDW. ELEV. & SCHEDULES  
A4 - EXTERIOR ELEVATIONS  
A5 - SECTIONS & ROOF PLAN  
A6 - INTERIOR ELEVATIONS

A7 - REFLECTED CEILING PLAN



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*Travis Miller*

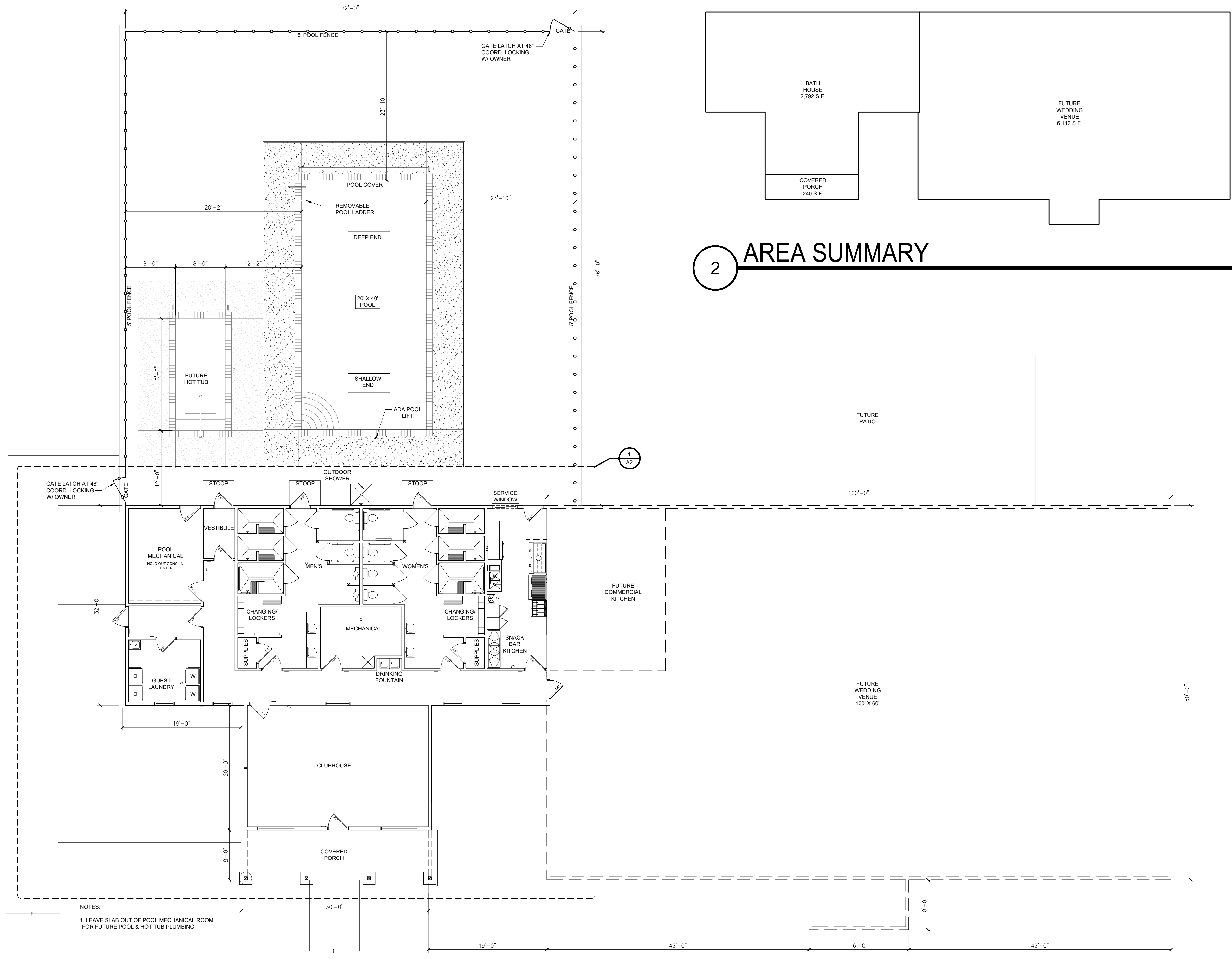
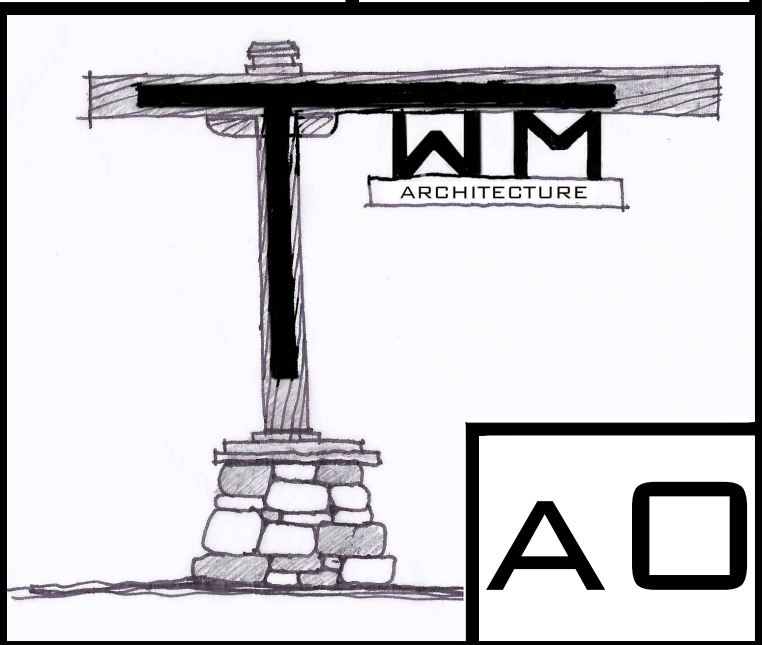
LIC. # 45743

DATE: 9-20-23

TRAVIS MILLER

# WEALTHWOOD RV PARK POOL BUILDING

37433 246TH ST  
AITKIN COUNTY, MN



## 1 OVERALL FLOOR PLAN

1/8" = 1'-0" ON 24 X 36 PAPER



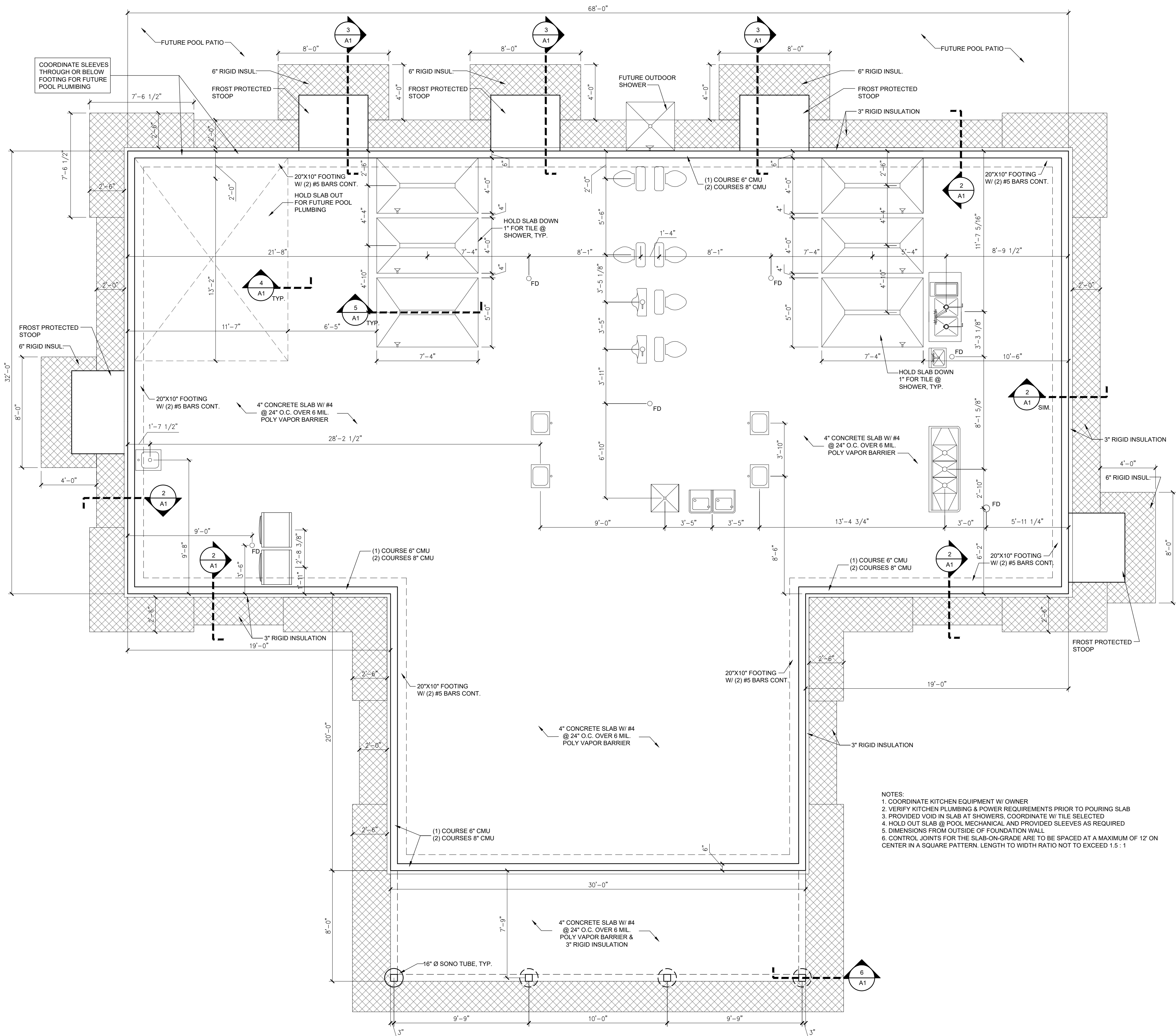
## 2 AREA SUMMARY

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

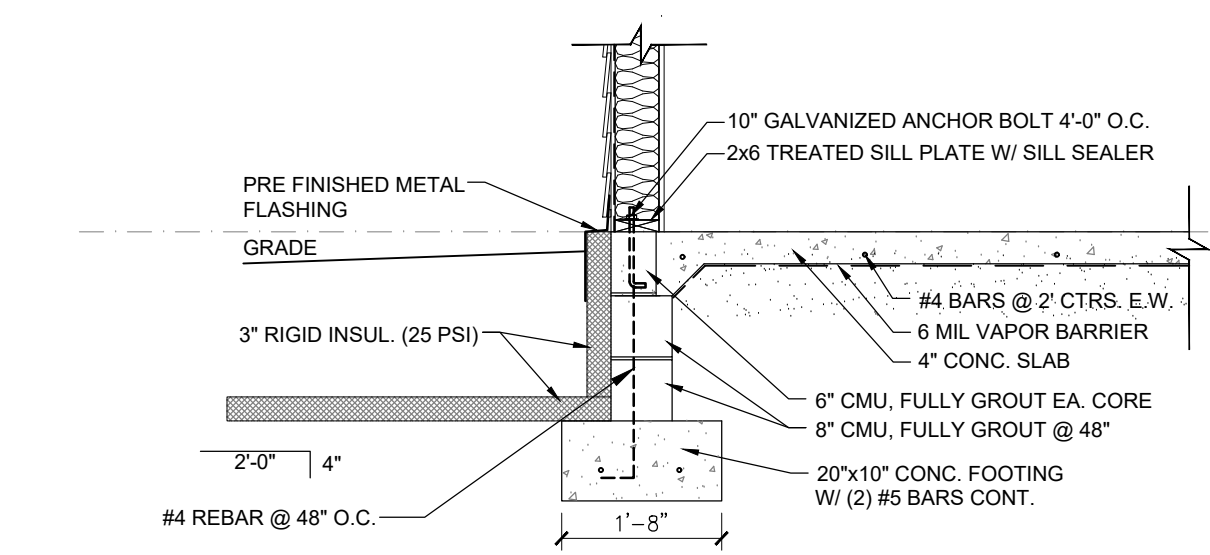
TRAVIS MILLER DATE: 9-20-23 LIC. # 45743

WEALTHWOOD RV PARK  
POOL BUILDING

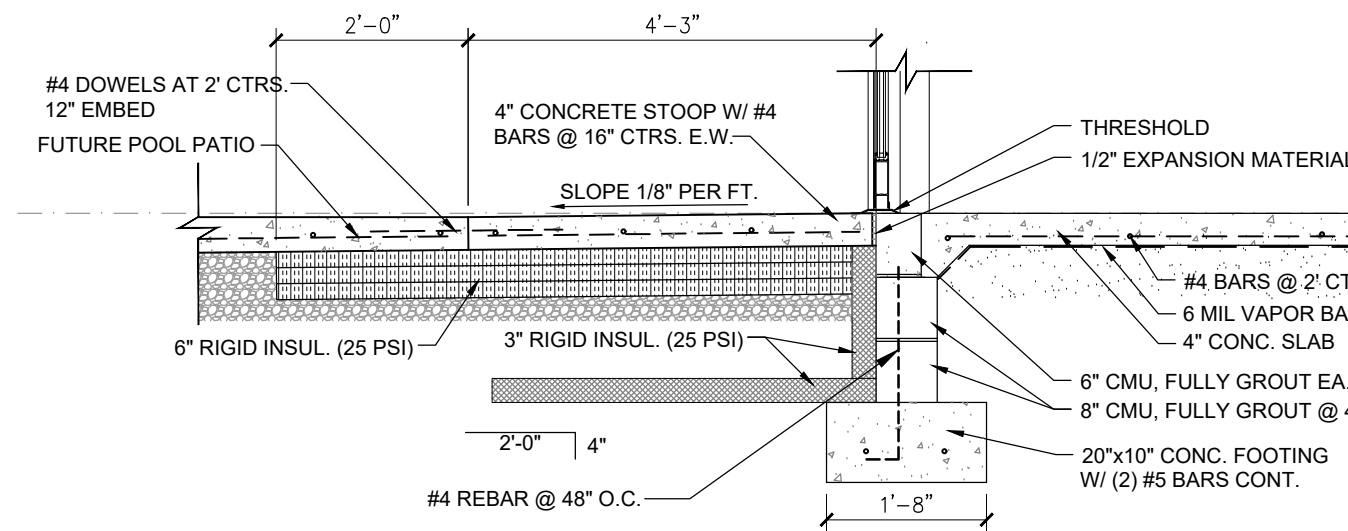
37433 246TH ST  
AITKIN COUNTY, MN



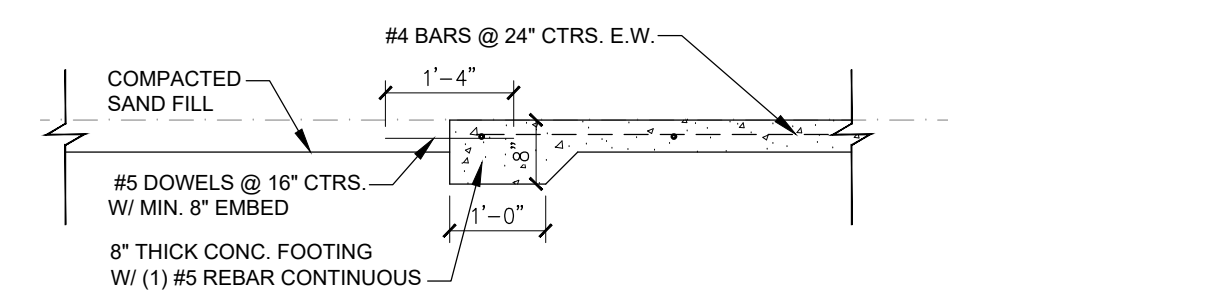
1 FOUNDATION PLAN  
1/4" = 1'-0" ON 24 X 36 PAPER



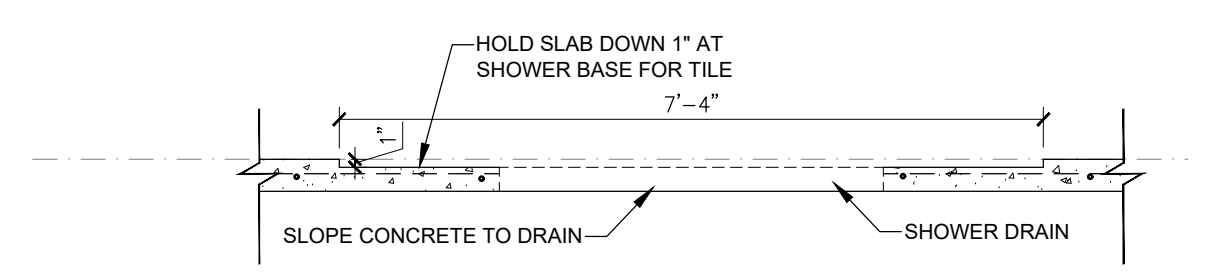
2 FOUNDATION DETAIL  
1/2" = 1'-0" ON 24 X 36 PAPER



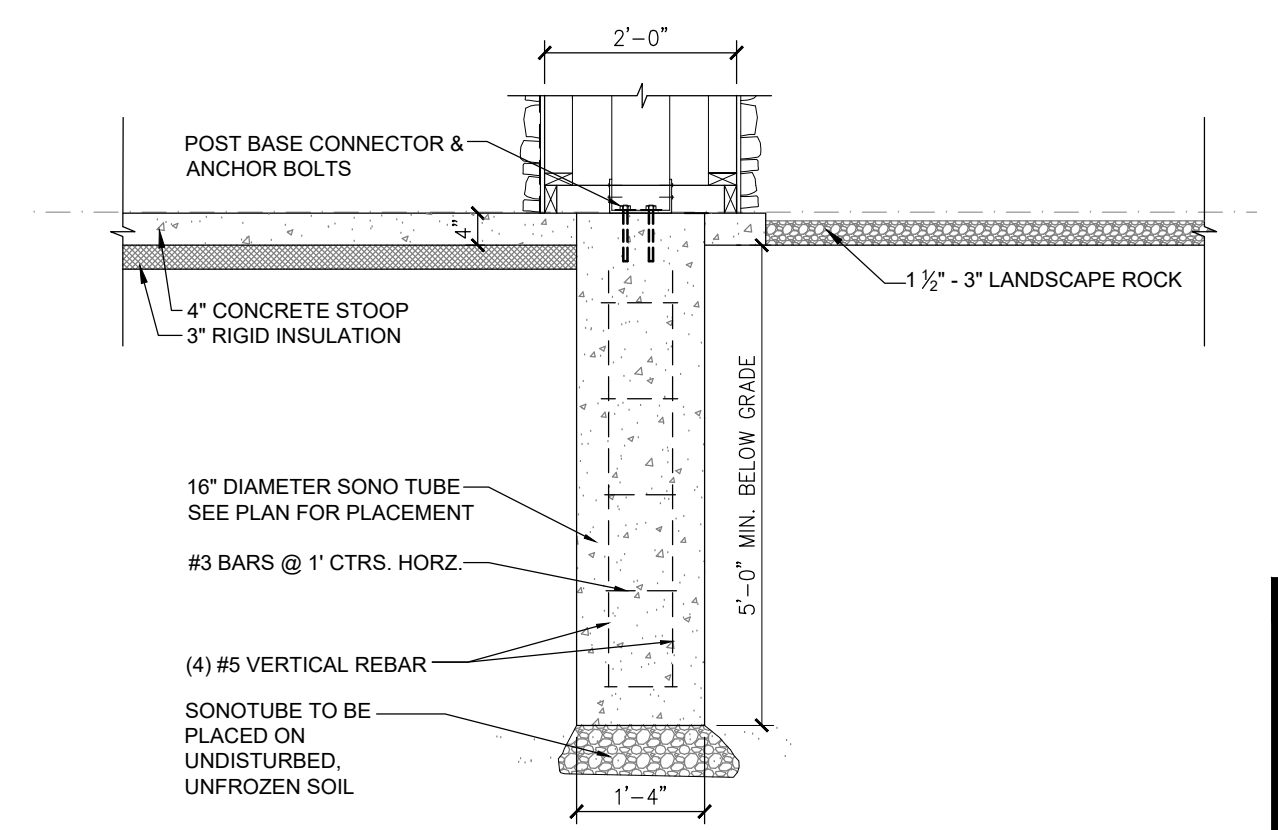
3 FOUNDATION DETAIL  
1/2" = 1'-0" ON 24 X 36 PAPER



4 FOUNDATION DETAIL  
1/2" = 1'-0" ON 24 X 36 PAPER

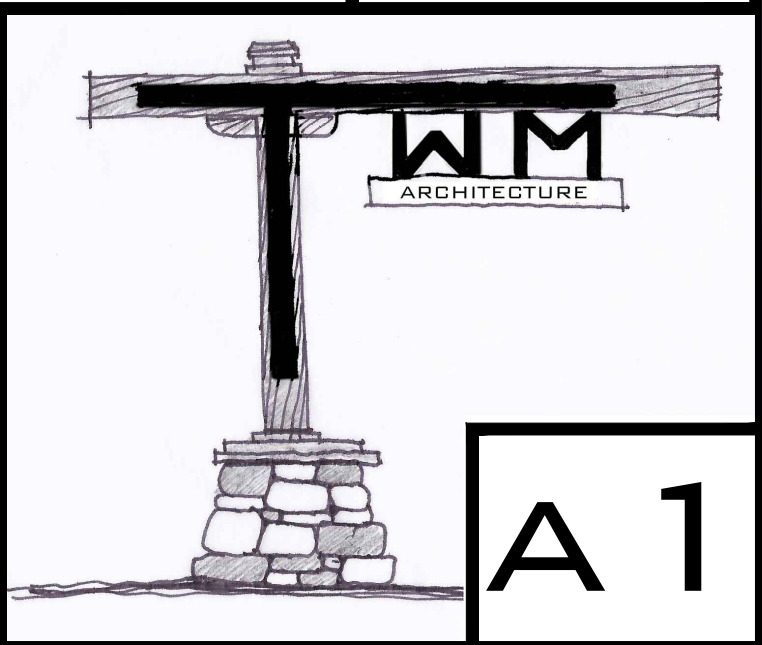


5 FOUNDATION DETAIL  
1/2" = 1'-0" ON 24 X 36 PAPER



6 FOUNDATION DETAIL  
1/2" = 1'-0" ON 24 X 36 PAPER

- NOTES:
- COORDINATE KITCHEN EQUIPMENT W/ OWNER
  - VERIFY KITCHEN PLUMBING & POWER REQUIREMENTS PRIOR TO POURING SLAB
  - PROVIDED VOID IN SLAB AT SHOWERS, COORDINATE W/ TILE SELECTED
  - HOLD OUT SLAB @ POOL MECHANICAL AND PROVIDED SLEEVES AS REQUIRED
  - DIMENSIONS FROM OUTSIDE OF FOUNDATION WALL
  - CONTROL JOINTS FOR THE SLAB-ON-GRADE ARE TO BE SPACED AT A MAXIMUM OF 12' ON CENTER IN A SQUARE PATTERN. LENGTH TO WIDTH RATIO NOT TO EXCEED 1.5 : 1



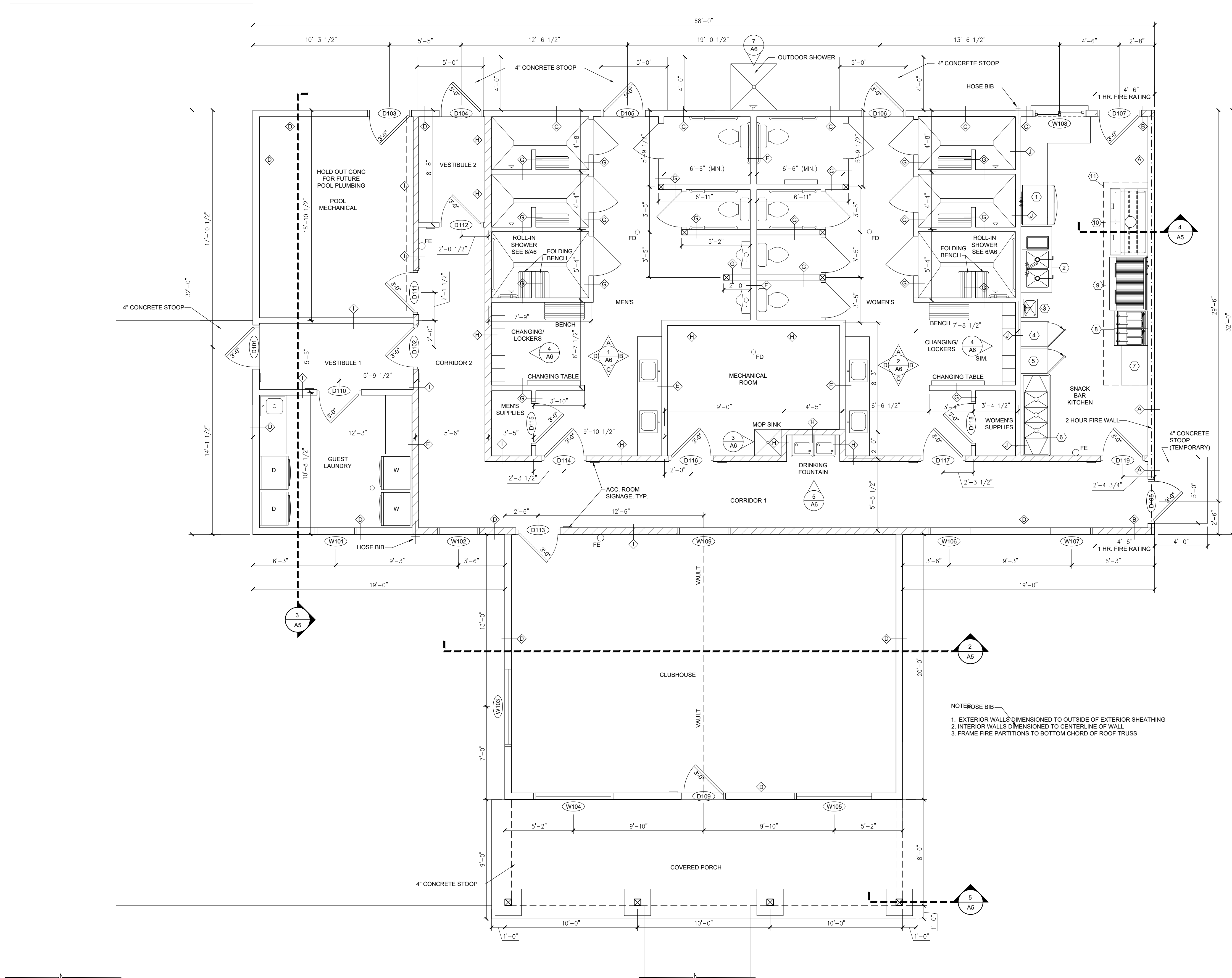
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LIC. # 45743

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**KITCHEN EQUIPMENT SCHEDULE**

#	NAME
1	POP MACHINE W/ ICE
2	FOOD PREP SINK
3	HAND SINK
4	REFRIGERATOR
5	FREEZER
6	3 COMPARTMENT SINK
7	24" STAINLESS STEEL SHELF
8	FRYER
9	BROILER
10	SANDWICH PREP TABLE
11	RANGE HOOD

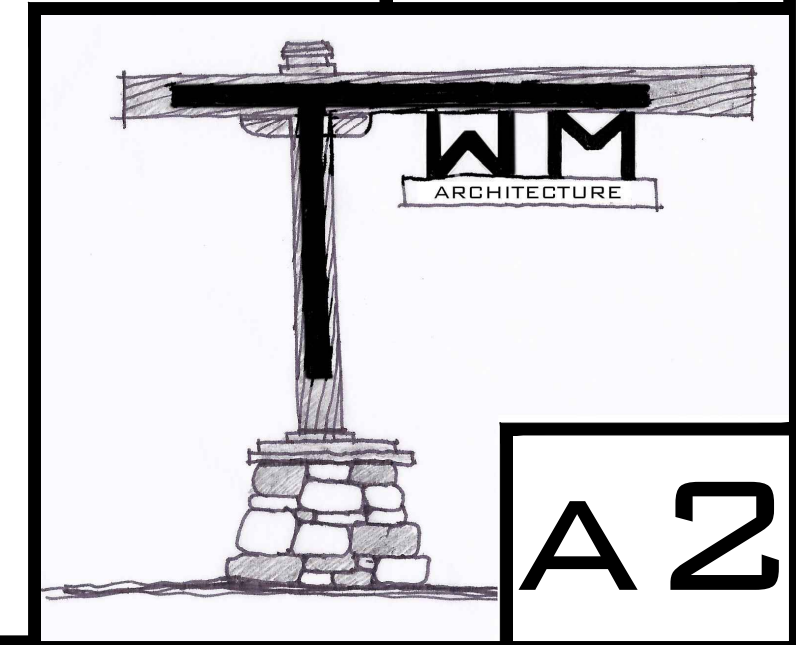
NOTES:  
 1. VERIFY KITCHEN EQUIPMENT SPECS W/ OWNER  
 2. COORDINATE KITCHEN EQUIPMENT REQUIREMENTS W/ DESIGN BUILD ELECTRICAL, MECHANICAL & PLUMBING CONTRACTORS

NOTE: ROSE BIB  
 1. EXTERIOR WALLS DIMENSIONED TO OUTSIDE OF EXTERIOR SHEATHING  
 2. INTERIOR WALLS DIMENSIONED TO CENTERLINE OF WALL  
 3. FRAME FIRE PARTITIONS TO BOTTOM CHORD OF ROOF TRUSS

**WEALTHWOOD RV PARK  
 POOL BUILDING**

37433 246TH ST  
 AITKIN COUNTY, MN

**1 FLOOR PLAN**  
 1/4" = 1'-0" ON 24 X 36 PAPER



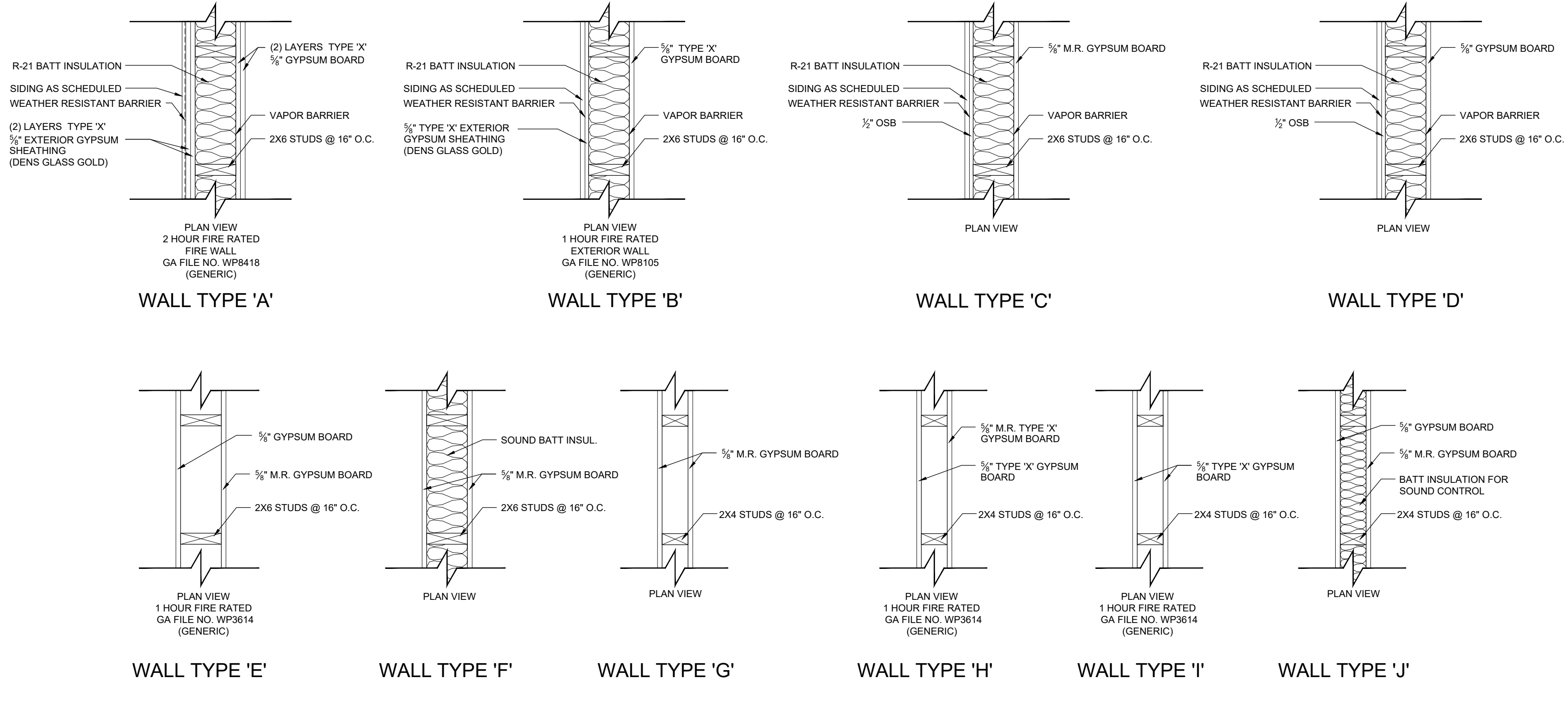
**A2**

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NOTE:  
 1. PROVIDE MOISTURE RESISTANT TILE BACKER OF THE SAME THICKNESS SPECIFIED IN LIEU OF MOISTURE RESISTANT GYPSUM BOARD AT LOCATIONS W/ TILE  
 2. TERMINATE WALLS AT BOTTOM CHORD OF ROOF TRUSS

DOOR NO	LOCATION	FRAME TYPE	DOOR TYPE	ROUGH OPENING W x H	HEADER HEIGHT	HEADER MATERIAL	FIRE RATING	COMMENTS
D101	VESTIBULE #1	TYPE 1	DOOR 1	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	(2) 2X10	NA	PROVIDE CLOSER
D102	VESTIBULE #1	TYPE 1	DOOR 2	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	NA	NA	PROVIDE CLOSER
D103	POOL MECHANICAL	TYPE 1	DOOR 3	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	(2) 2X10	NA	NA
D104	VESTIBULE #2	TYPE 1	DOOR 1	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	(2) 2X10	NA	PROVIDE CLOSER
D105	MEN'S LOCKER ROOM	TYPE 1	DOOR 3	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	(2) 2X10	NA	PROVIDE CLOSER
D106	WOMEN'S LOCKER ROOM	TYPE 1	DOOR 3	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	(2) 2X10	NA	PROVIDE CLOSER
D107	SNACK BAR KITCHEN	TYPE 1	DOOR 4	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	(2) 2X10	NA	PROVIDE CLOSER
D108	CORRIDOR #1	TYPE 1	DOOR 3	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	(2) 2X10	90 MIN.	PROVIDE CLOSER, WIRE FOR FUTURE HOLD OPEN
D109	CLUBHOUSE	TYPE 2	DOOR 7	3'-2 1/2" X 8'-2 1/2"	8'-2 1/2"	(2) 2X10	NA	PROVIDE CLOSER
D110	GUEST LAUNDRY	TYPE 1	DOOR 6	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	NA	20 MIN.	PROVIDE CLOSER
D111	POOL MECHANICAL	TYPE 1	DOOR 5	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	NA	20 MIN.	PROVIDE CLOSER
D112	VESTIBULE #2	TYPE 1	DOOR 2	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	NA	NA	PROVIDE CLOSER
D113	CLUBHOUSE	TYPE 1	DOOR 6	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	(2) 2X10	20 MIN.	PROVIDE CLOSER
D114	MEN'S LOCKER ROOM	TYPE 1	DOOR 5	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	NA	20 MIN.	PROVIDE CLOSER
D115	MEN'S SUPPLIES	TYPE 1	DOOR 5	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	NA	NA	NA
D116	MECHANICAL	TYPE 1	DOOR 5	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	NA	20 MIN.	PROVIDE CLOSER
D117	WOMEN'S LOCKER ROOM	TYPE 1	DOOR 5	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	NA	20 MIN.	PROVIDE CLOSER
D118	WOMEN'S SUPPLIES	TYPE 1	DOOR 5	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	NA	NA	NA
D119	SNACK BAR KITCHEN	TYPE 1	DOOR 5	3'-2 1/2" X 6'-10 1/2"	6'-10 1/2"	NA	20 MIN.	PROVIDE CLOSER

NOTES:  
 1. DOOR HARDWARE TO BE LEVER TYPE HARDWARE (NOT REQUIRING TIGHT GRASPING, PINCHING, OR TURNING OF THE WRIST)  
 2. SEE PLAN FOR DOOR SIZES, SWING, & FUNCTION  
 3. VERIFYING KEYING W/ OWNER  
 4. VERIFY CLOSER TYPE AND FINISH W/ OWNER  
 5. COMMERCIAL SCHLAGE LEVERS, VERIFY FINISH W/ OWNER  
 6. VERIFY HOLLOW METAL DOOR & FRAME COLOR W/ OWNER

WDW NO.	LOCATION	WINDOW #	FRAME SIZE W x H	HEADER HEIGHT	HEADER MTL.	COMMENTS
FIRST FLOOR WINDOWS						
W101	GUEST LAUNDRY	1	3'-0" X 5'-0"	8'-2 1/2"	(2) 2X10	FIXED UNIT
W102	CORRIDOR #1	1	3'-0" X 5'-0"	8'-2 1/2"	(2) 2X10	FIXED UNIT
W103	CLUB HOUSE	2	6'-0" X 5'-0"	8'-2 1/2"	(2) 9 1/2" LVL	FIXED UNIT
W104	CLUB HOUSE	2	6'-0" X 5'-0"	8'-2 1/2"	(2) 9 1/2" LVL	FIXED UNIT
W105	CLUB HOUSE	2	6'-0" X 5'-0"	8'-2 1/2"	(2) 9 1/2" LVL	FIXED UNIT
W106	CORRIDOR #1	1	3'-0" X 5'-0"	8'-2 1/2"	(2) 2X10	FIXED UNIT
W107	CORRIDOR #1	1	3'-0" X 5'-0"	8'-2 1/2"	(2) 2X10	FIXED UNIT
W108	SNACK BAR KITCHEN	4	4'-0" X 3'-10"	6'-10 1/2"	(2) 2X10	SLIDER/GLIDER - SERVICE WINDOW
W109	CORRIDOR #1	3	4'-0" X 4'-0"	6'-10 1/2"	(2) 2X10	INTERIOR/DIRECT SET FIXED UNIT (20 MINUTE FIRE RATING)

NOTES:  
 1. INSULATE WITH LOW EXPANSION SPRAY FOAM AROUND ALL WINDOW OPENINGS  
 2. SEE EXTERIOR ELEVATIONS FOR WINDOW OPERATION  
 3. VERIFY ALL WINDOW R.O.S W/ WINDOW SUPPLIER PRIOR TO FRAMING  
 4. SEE WINDOW ELEVATIONS FOR FRAME SIZE

## 1 WALL TYPES

1" = 1'-0" ON 24 X 36 PAPER

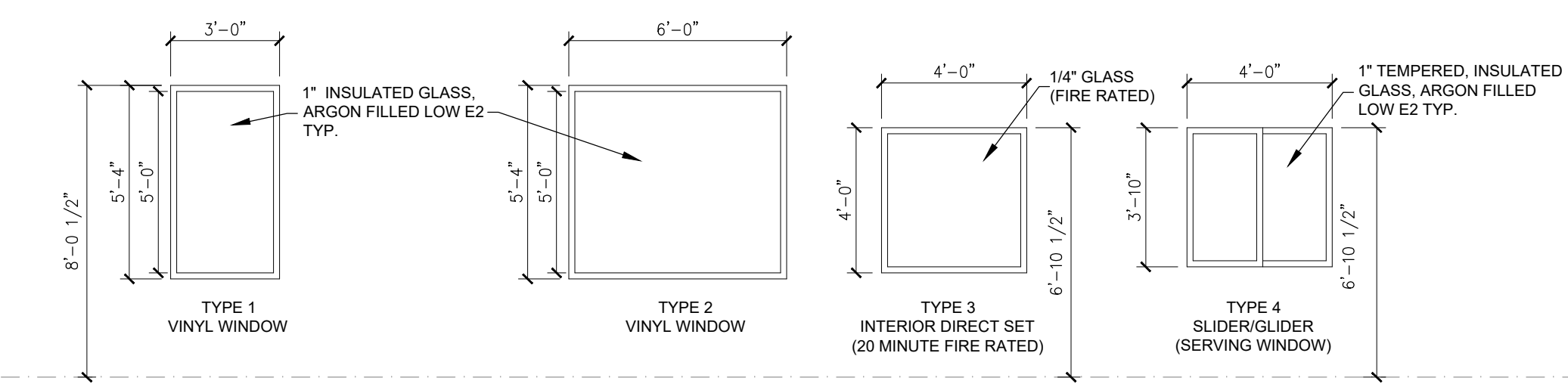
ROOM NAME	FLOOR	BASE	WALLS NORTH				WALLS EAST				WALLS SOUTH				WALLS WEST		CEILING		COMMENTS
			MAT L	FINISH	MAT L	FINISH	MAT L	FINISH	MAT L	FINISH	MAT L	FINISH	MAT L	FINISH	MAT L	FINISH	T&G	STAINED	
CLUBHOUSE	LVP	VINYL	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	ACT	NA	
CORRIDOR #1	LVP	VINYL	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	ACT	NA	
VESTIBULE #1	LVP	VINYL	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	ACT	NA	
CORRIDOR #2	LVP	VINYL	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	ACT	NA	
POOL MECHANICAL	NO FLOOR	GYP.	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	SEALED CONC. FLOOR AFTER POOL EQUIP. INSTALLED
VESTIBULE #2	LVP	VINYL	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	ACT	NA	
MEN'S LOCKER ROOM	STAINED CONCRETE	VINYL	GYP.	PAINT/FRP	GYP.	PAINT/FRP	GYP.	PAINT/FRP	GYP.	PAINT/FRP	GYP.	PAINT/FRP	GYP.	PAINT/FRP	GYP.	PAINT/FRP	ACT	NA	
MECHANICAL	SEALED CONCRETE	VINYL	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	GYP.	PAIN	
WOMEN'S LOCKER ROOM	STAINED CONCRETE	VINYL	GYP.	PAINT/FRP	GYP.	PAINT/FRP	GYP.	PAINT/FRP	GYP.	PAINT/FRP	GYP.	PAINT/FRP	GYP.	PAINT/FRP	GYP.	PAINT/FRP	ACT	NA	
SNACK BAR KITCHEN	QT	QT	GYP.	FRP	GYP.	FRP	GYP.	FRP	GYP.	FRP	GYP.	FRP	GYP.	FRP	WASH. ACT	NA			S.S FINISH AT HOOD LOCATIONS, COVED BASE

NOTES:  
 1. ALL GYP. BOARD WALLS TO HAVE A SMOOTH FINISH  
 2. ALL GYP. BOARD CEILINGS TO HAVE A KNOCKDOWN FINISH  
 3. ALL RESTROOMS: TO HAVE FRP WAINSCOT TO 5' HT., PROVIDE COVED BASE OR METAL COVE BETWEEN WALL & FLOOR  
 4. VERIFY ALL FINISH MATERIALS WITH OWNER  
 5. VERIFY ALL PAINT COLORS AND SHEENS WITH OWNER

ABBREVIATIONS:  
 CPT = CARPET  
 CONC. = CONCRETE  
 GYP. = GYPSUM BOARD  
 LVP = LUXURY VINYL PLANK  
 MP = METAL LINER PANEL  
 QT = QUARRY TILE  
 WASH = WASHABLE ACT

## 2 WINDOW ELEVATIONS

1/4" = 1'-0" ON 24 X 36 PAPER

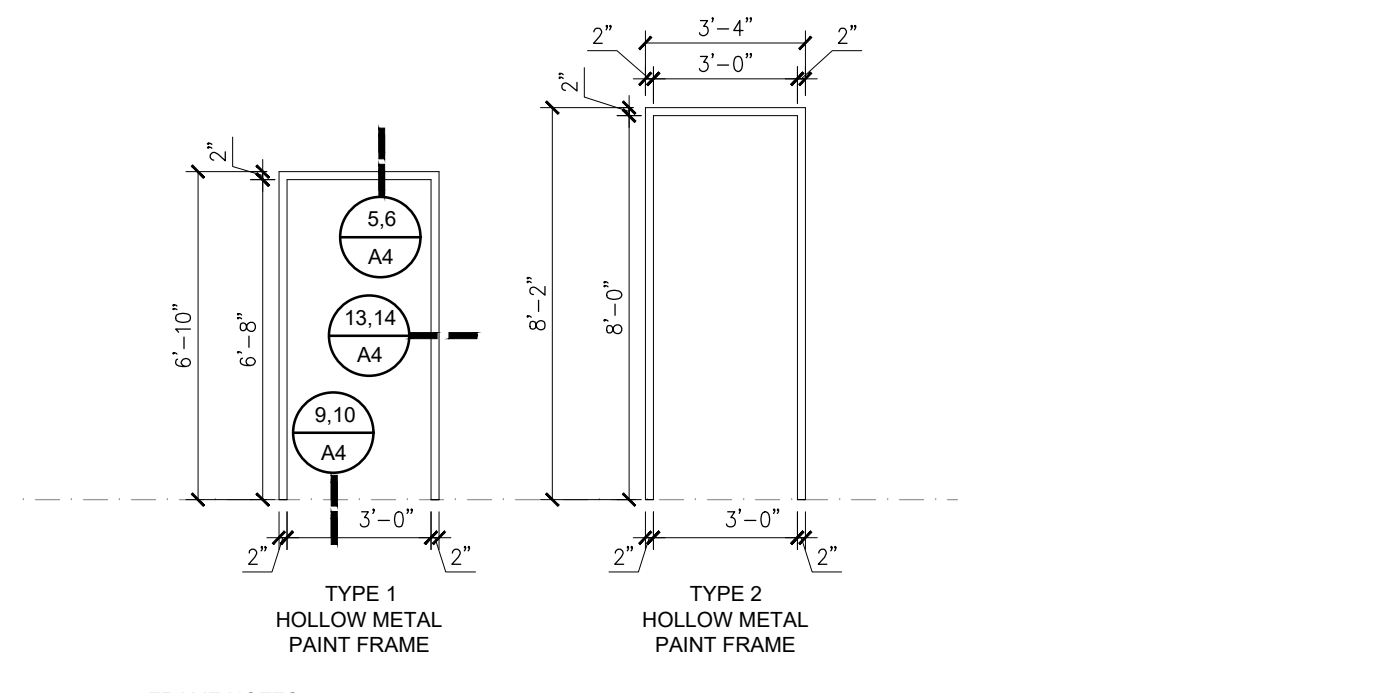


FRAME NOTES:  
 1. INSULATE ALL EXTERIOR FRAMES  
 2. SEE SCHEDULE FOR FIRE RATING  
 3. VERIFY PAINT W/ OWNER

DOOR NOTES:  
 1. ALL EXIT DOORS TO HAVE PANIC HARDWARE OR FIRE EXIT HARDWARE.  
 2. ALL PULLS, HANDLES, LEVERS, ETC TO BE ADA ACCESSIBLE.  
 3. SEE SCHEDULE FOR FIRE RATING  
 4. VERIFY PAINT/STAIN W/ OWNER

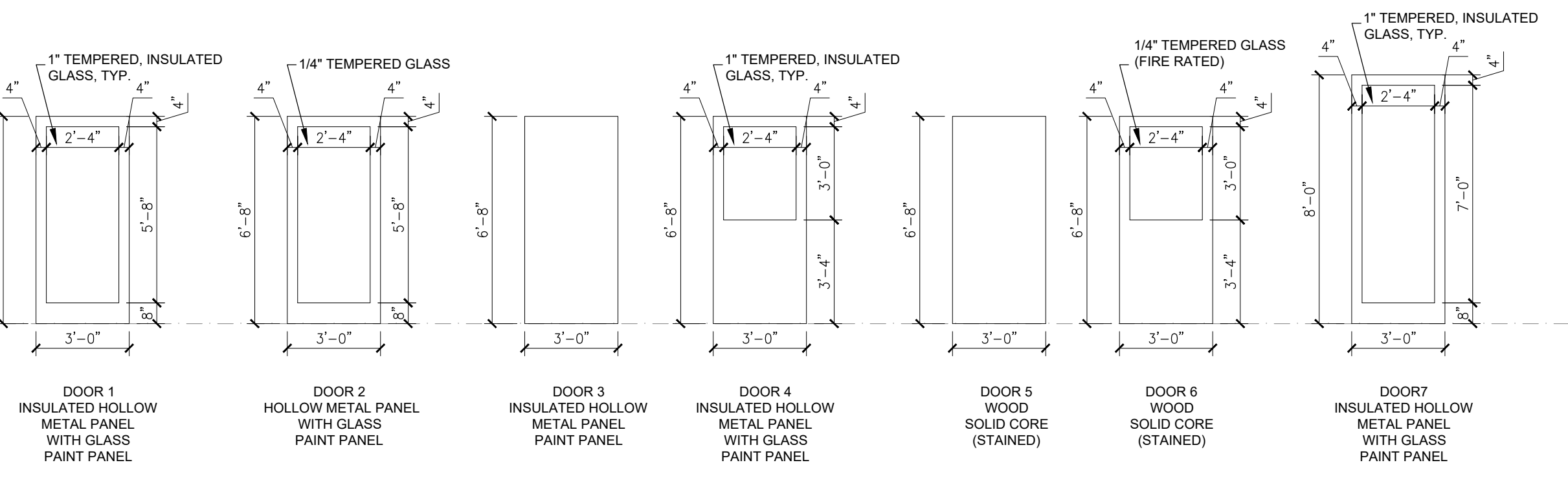
## 3 DOOR FRAME ELEVATIONS

1/4" = 1'-0" ON 24 X 36 PAPER



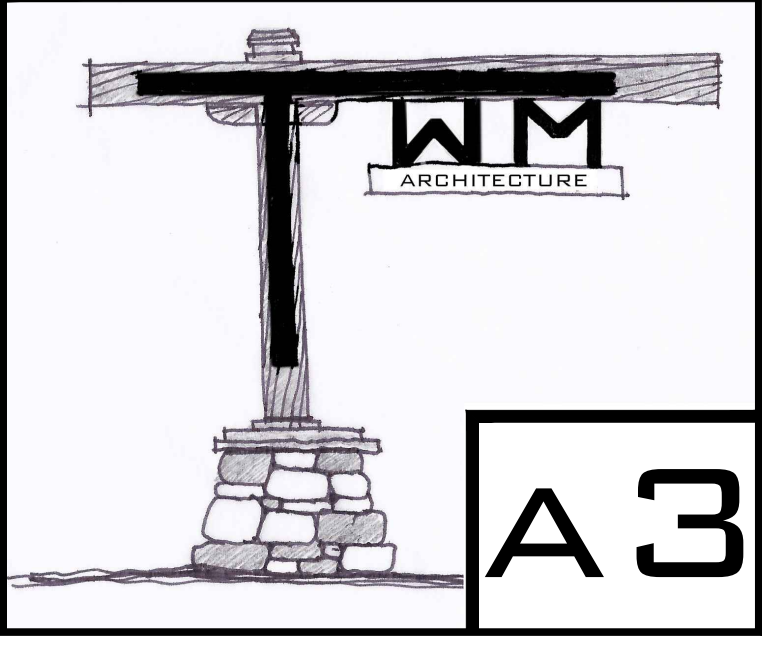
## 4 DOOR PANEL ELEVATIONS

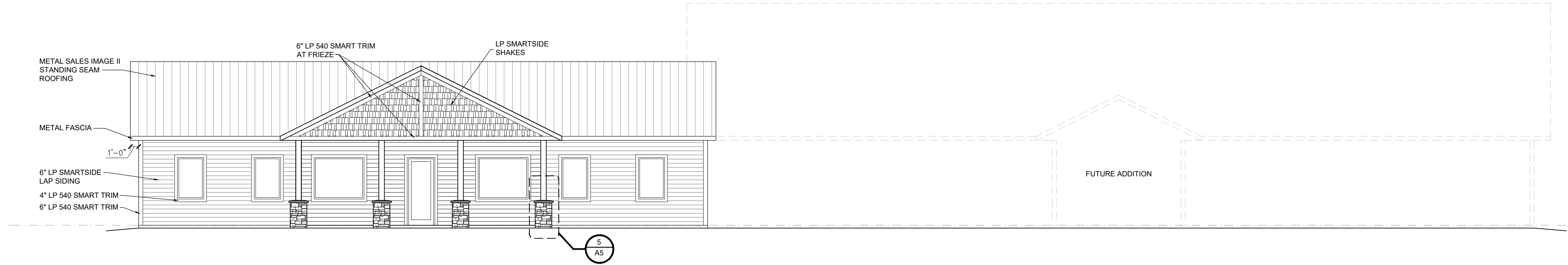
1/4" = 1'-0" ON 24 X 36 PAPER



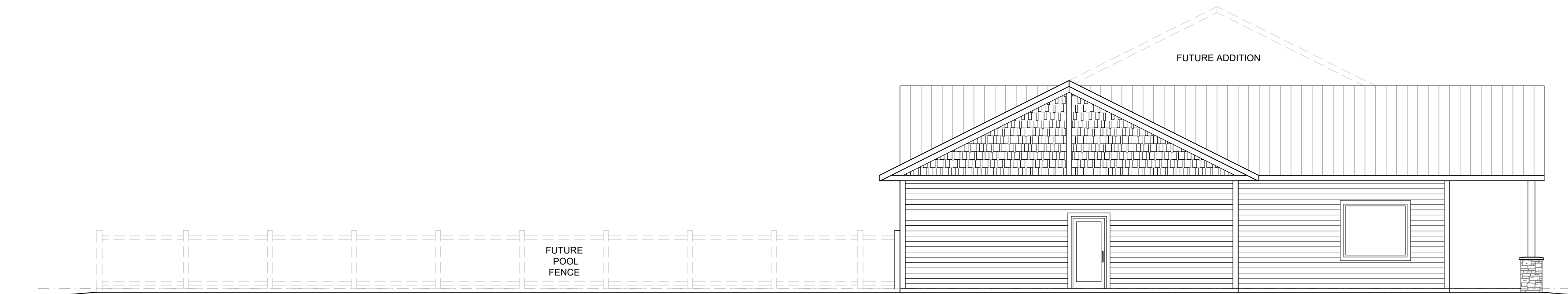
WEALTHWOOD RV PARK  
POOL BUILDING

37433 246TH ST  
AITKIN COUNTY, MN

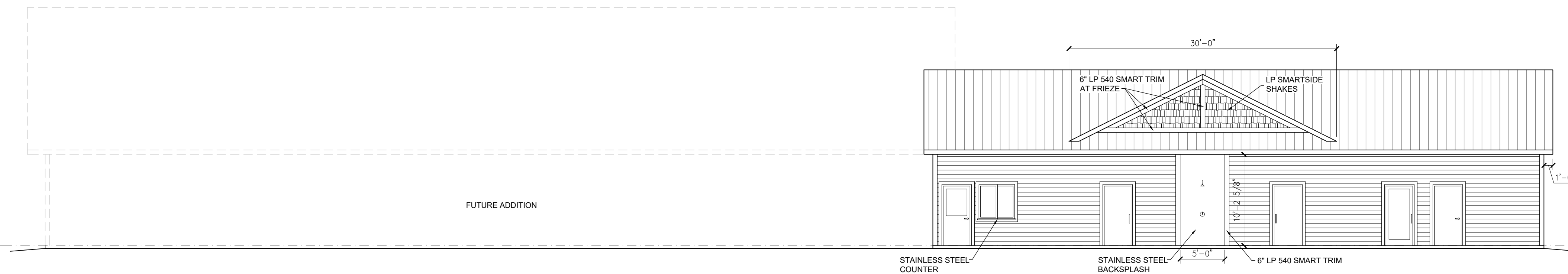




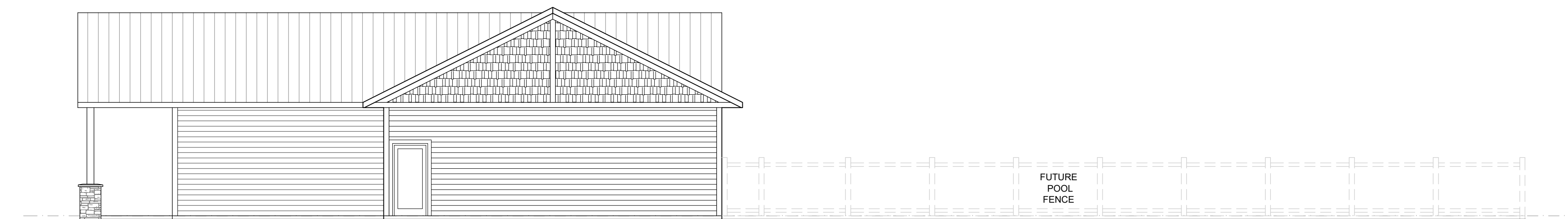
**1 WEST ELEVATION**  
1/8" = 1'-0" ON 24 X 36 PAPER



**2 NORTH ELEVATION**  
1/8" = 1'-0" ON 24 X 36 PAPER



**3 EAST ELEVATION**  
1/8" = 1'-0" ON 24 X 36 PAPER



**4 SOUTH ELEVATION**  
1/8" = 1'-0" ON 24 X 36 PAPER

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

*Travis Miller*

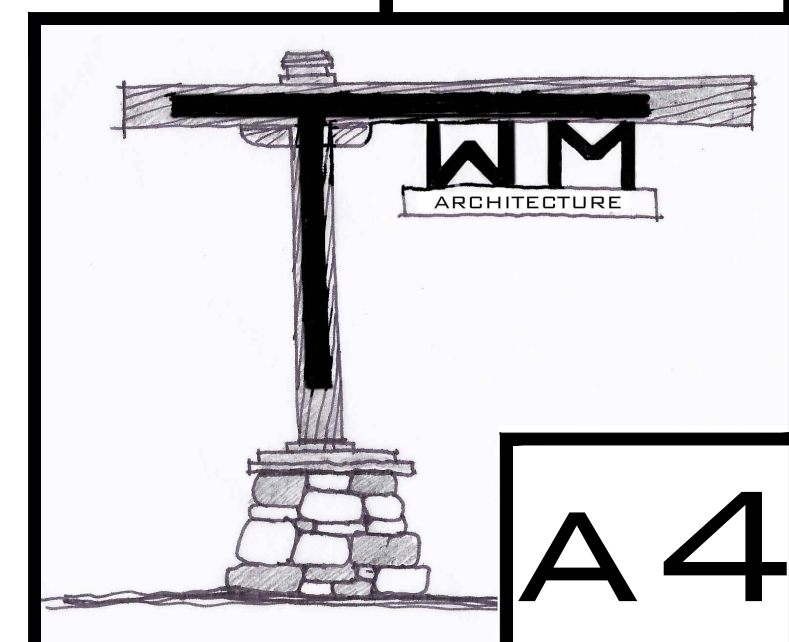
LIC. # 45743

DATE: 9-20-23

TRAVIS MILLER

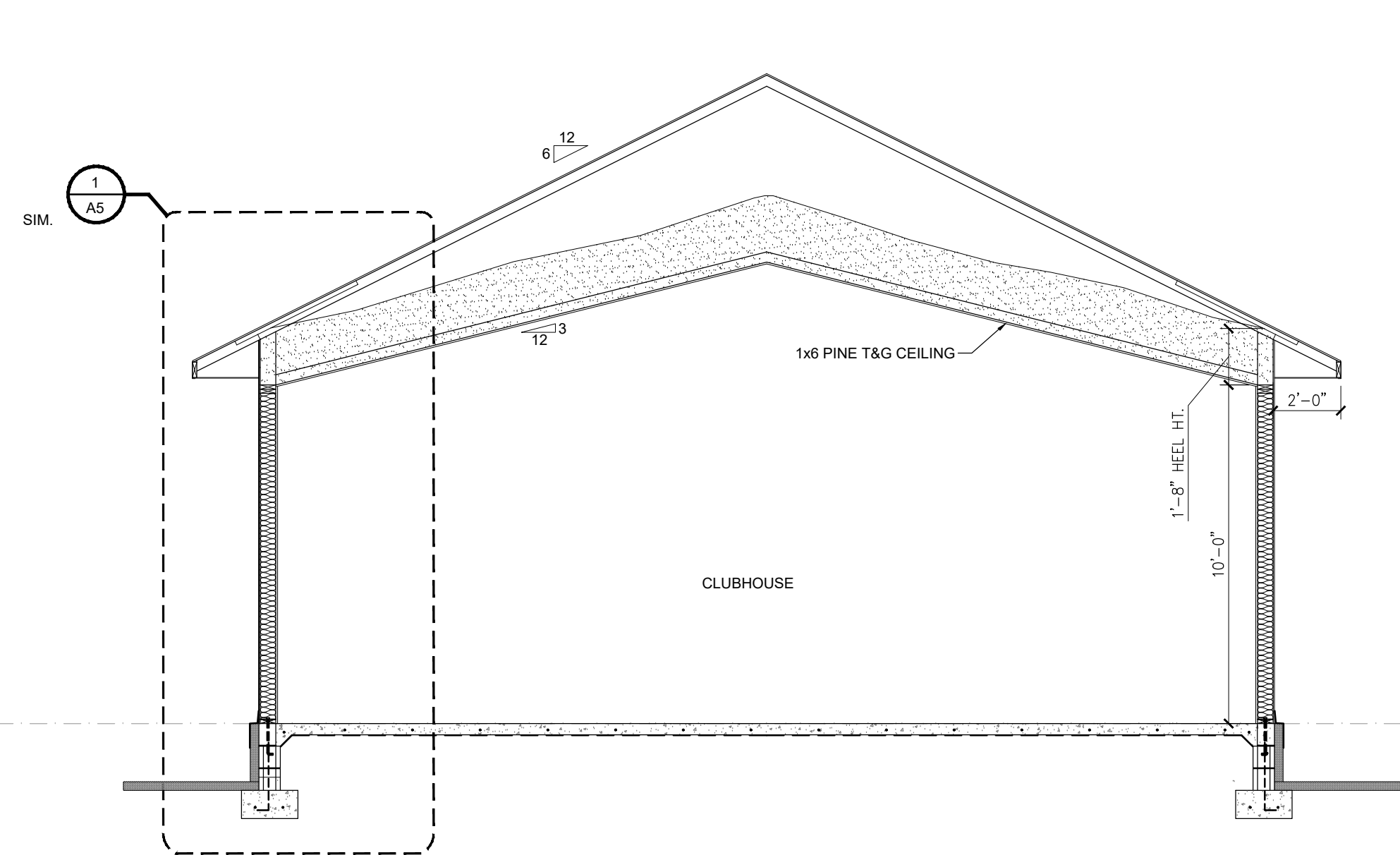
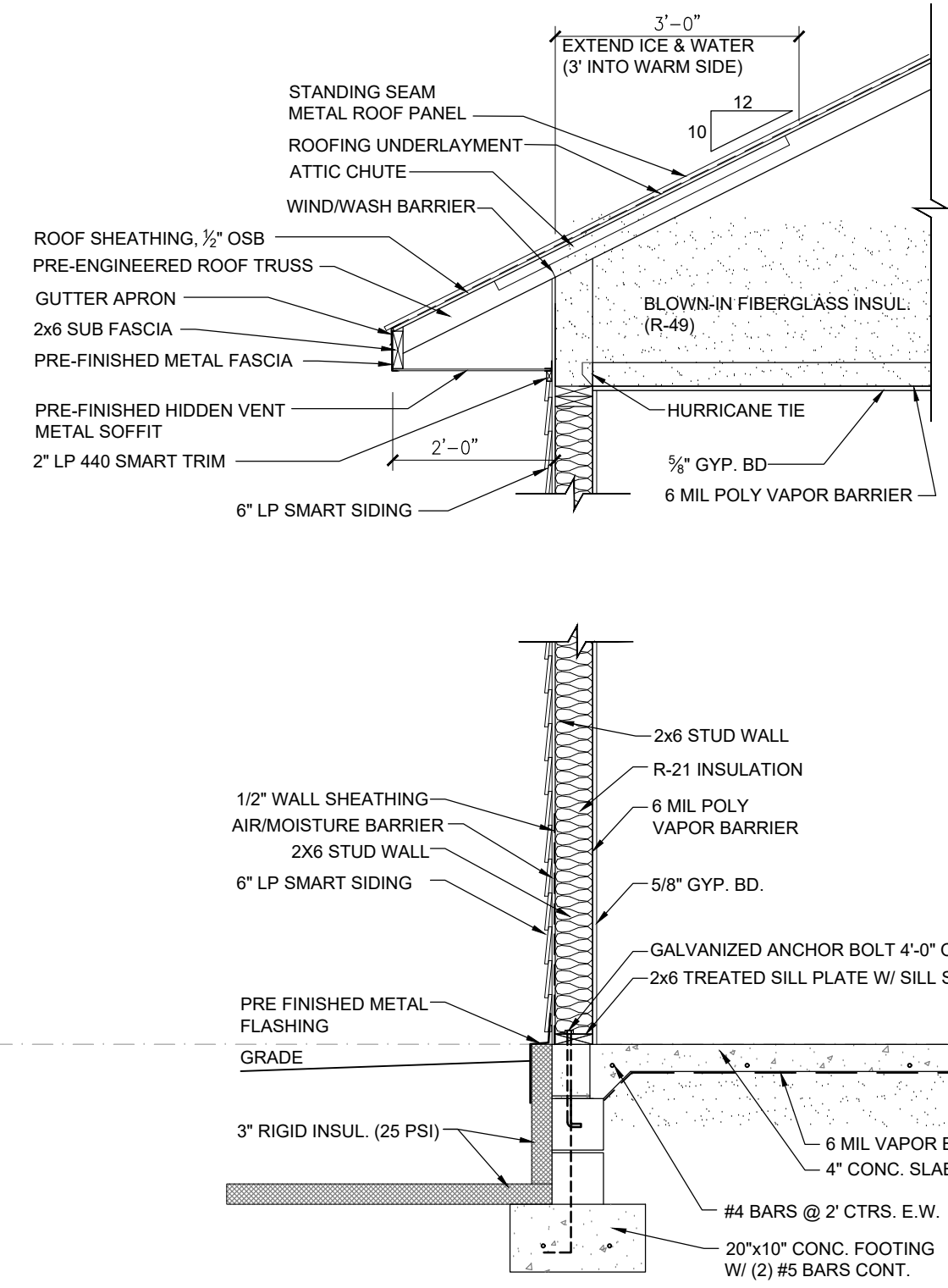
**WEALTHWOOD RV PARK  
POOL BUILDING**

37433 246TH ST  
AITKIN COUNTY, MN

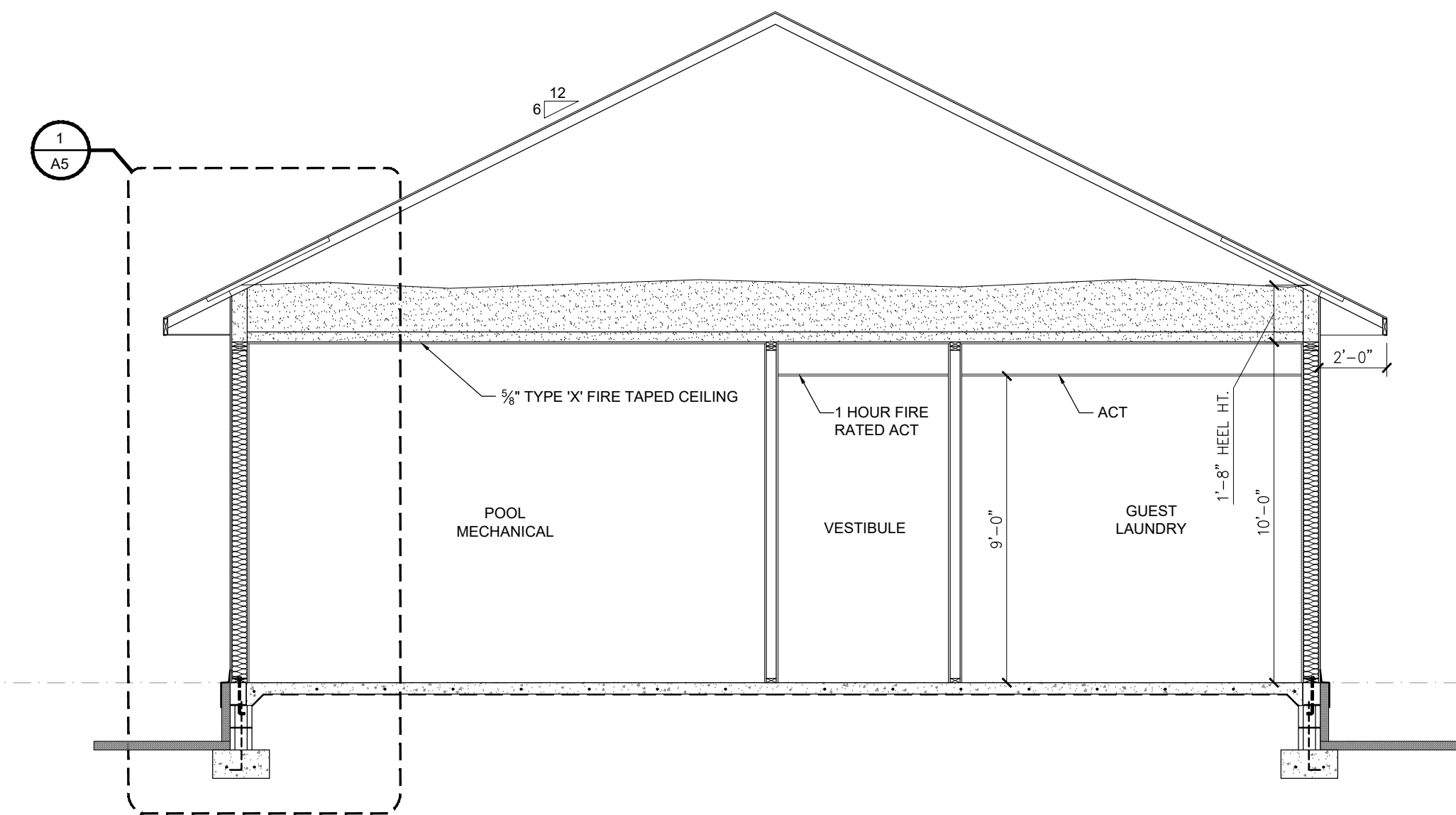


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TRAVIS MILLER DATE: 9-20-23 LIC. # 45743

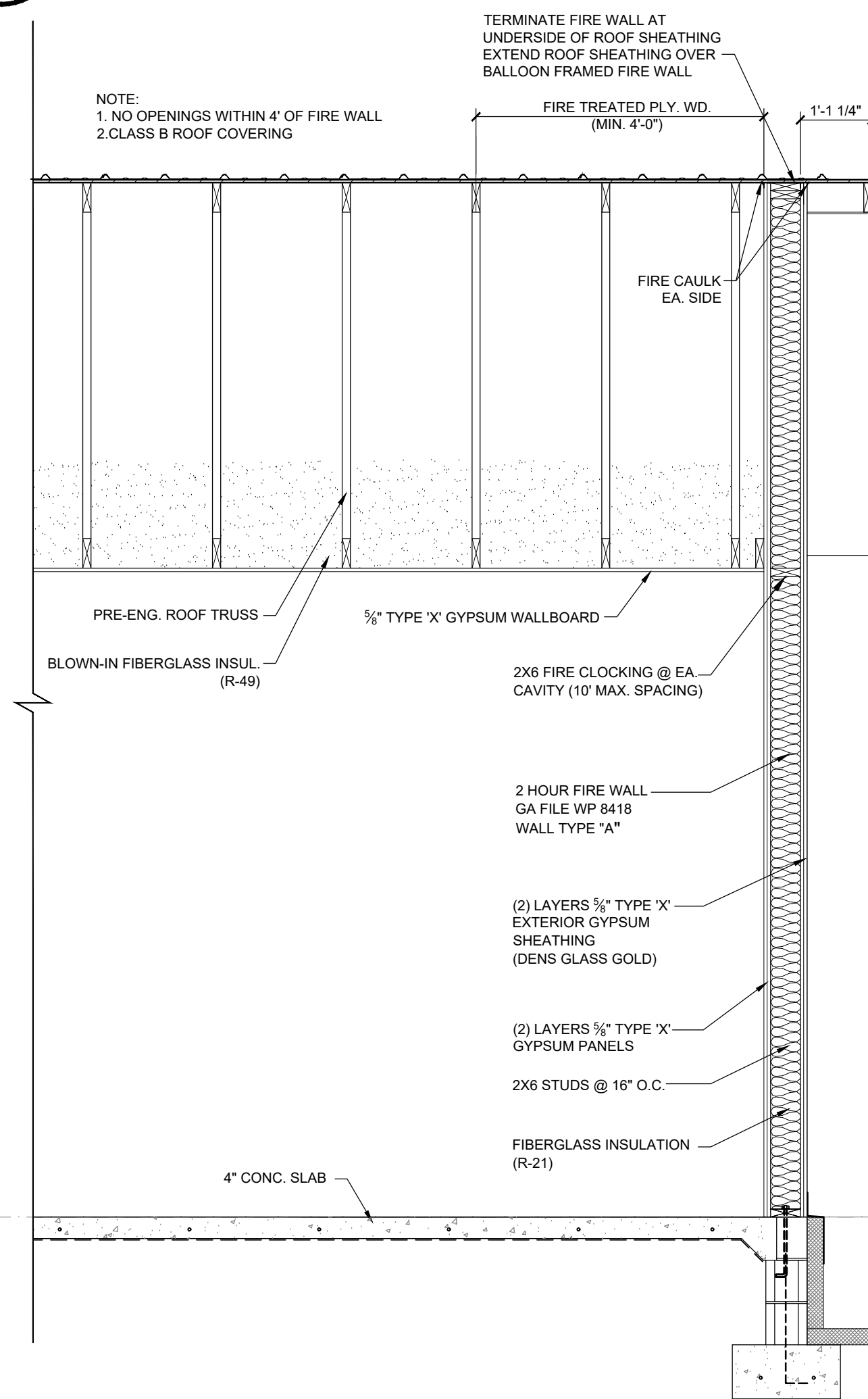


**2 BUILDING SECTION**  
1/4" = 1'-0" ON 24 X 36 PAPER

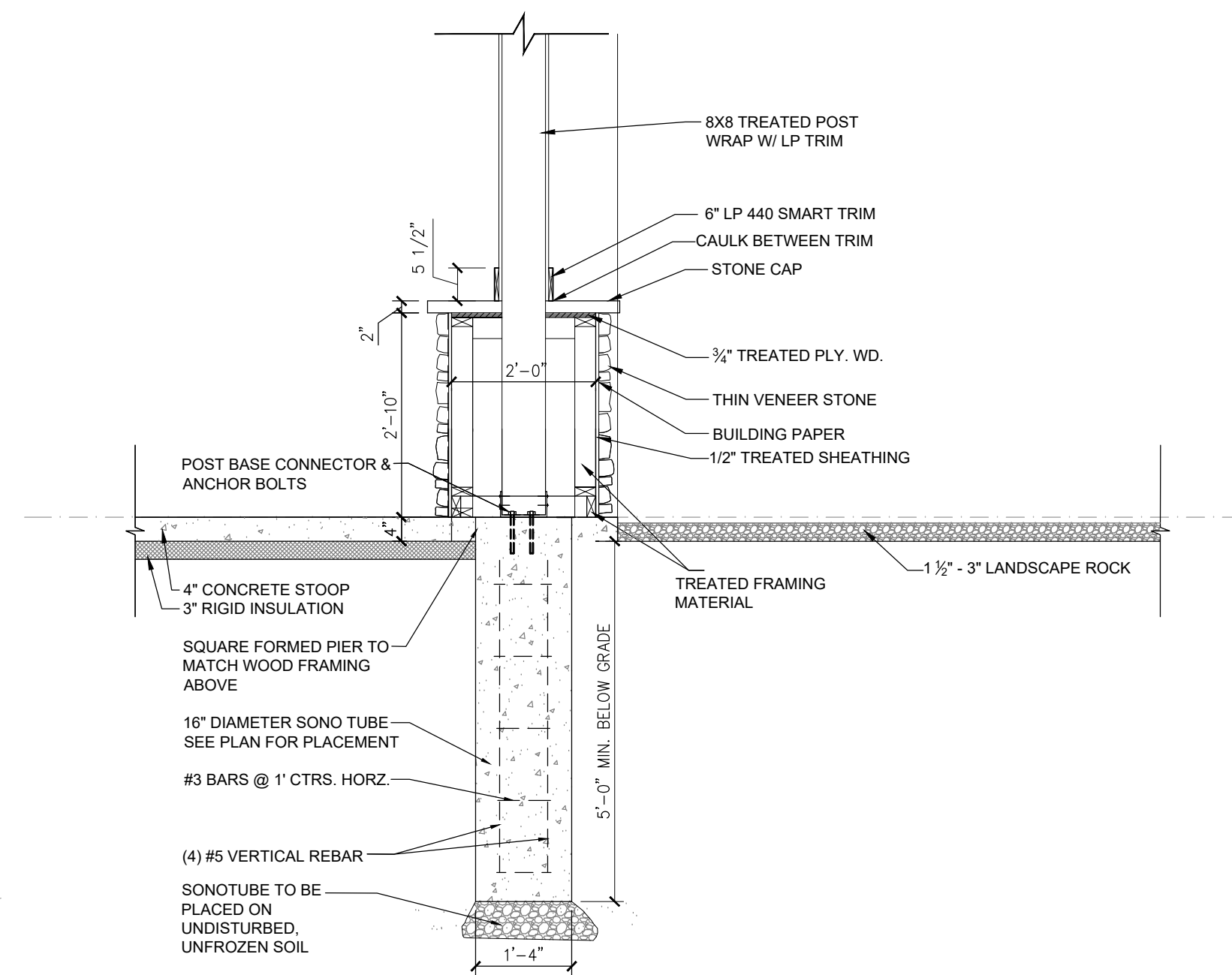


**3 BUILDING SECTION**  
1/4" = 1'-0" ON 24 X 36 PAPER

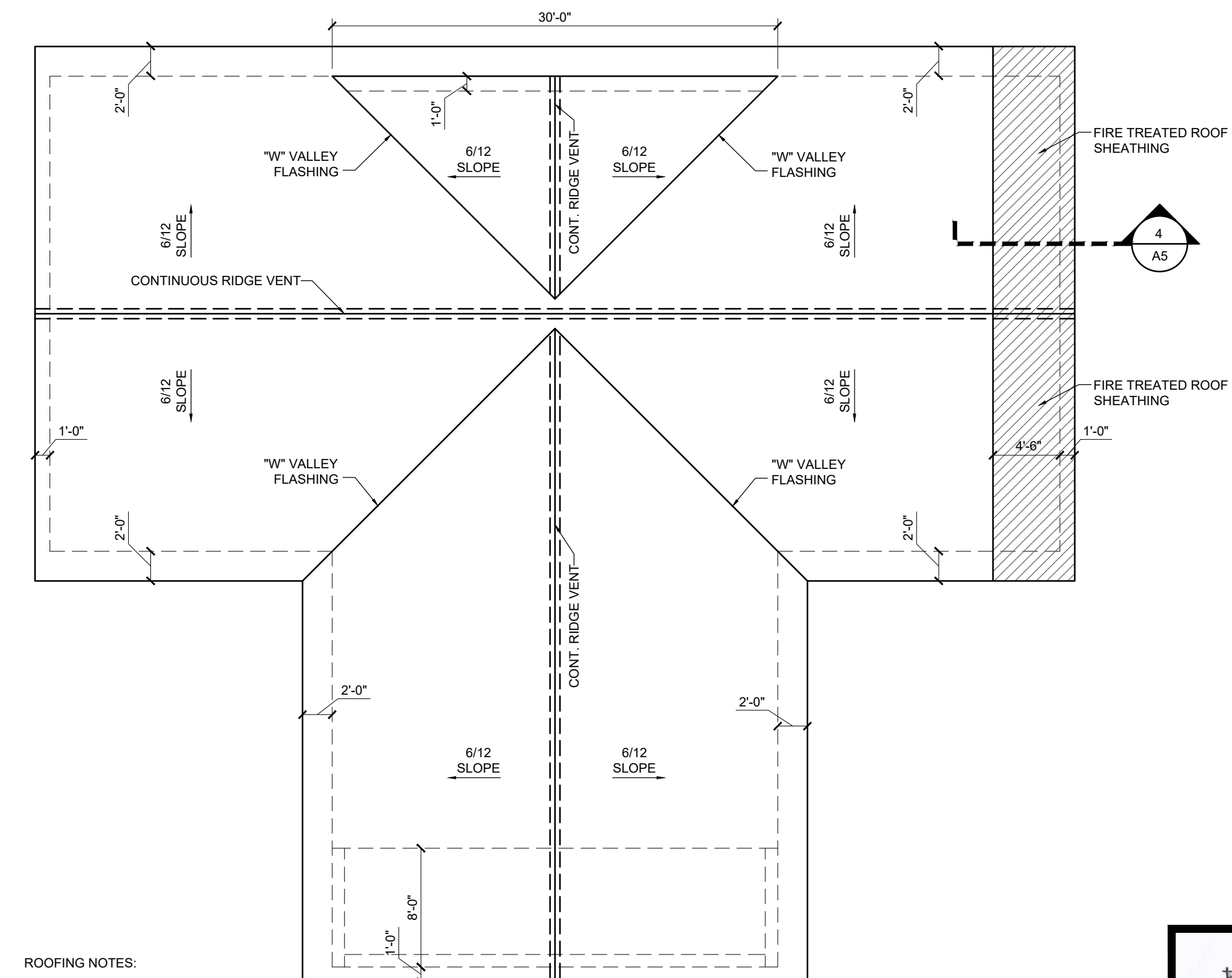
**1 WALL SECTION**  
1/2" = 1'-0" ON 24 X 36 PAPER



**4 WALL SECTION @ FIRE WALL**  
1/2" = 1'-0" ON 24 X 36 PAPER



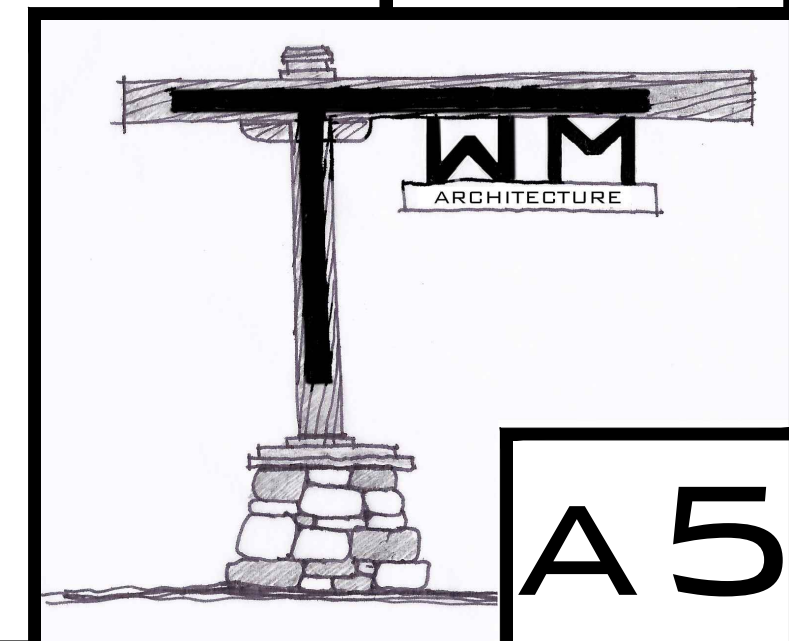
**5 SECTION @ PIER**  
1/2" = 1'-0" ON 24 X 36 PAPER



- ROOFING NOTES:
1. ROOF TO BE METAL SALES IMAGE II STANDING SEAM METAL ROOFING
  2. ALL ROOF VENTING TO BE ON EAST SIDE OF RIDGE (PLUMBING & VENTILATION)
  3. CONTINUOUS RIDGE VENT
  4. PROVIDE ICE & WATER OVER ENTIRE ROOF
  5. PROVIDE SNOW GUARDS AS NEEDED AT LOCATIONS TO PREVENT SNOW MELT / RUNOFF AT DOORS
  6. VERIFY GUTTERS WITH OWNER

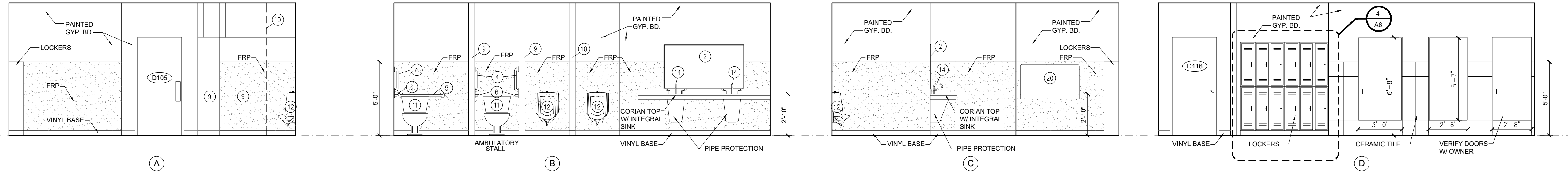
**6 ROOF PLAN**  
1/8" = 1'-0" ON 24 X 36 PAPER

**WEALTHWOOD RV PARK  
POOL BUILDING**  
37433 246TH ST  
AITKIN COUNTY, MN

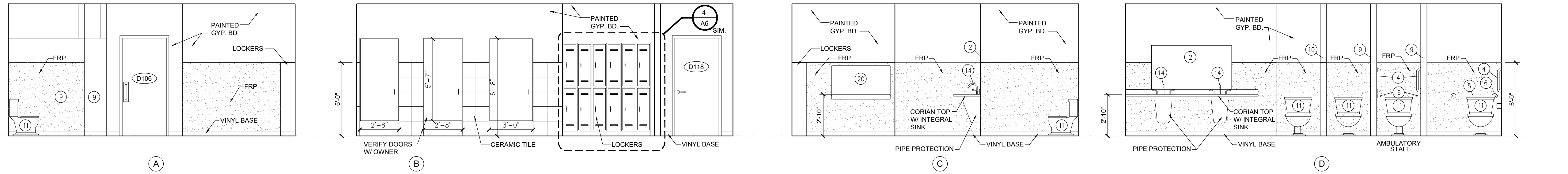


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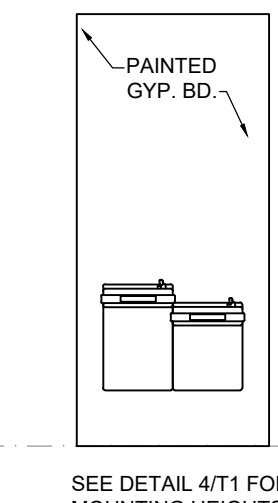
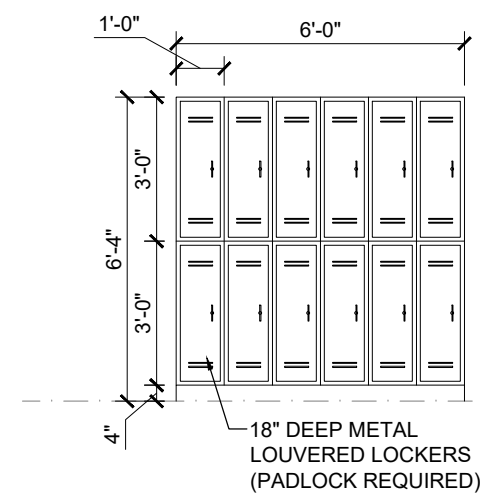
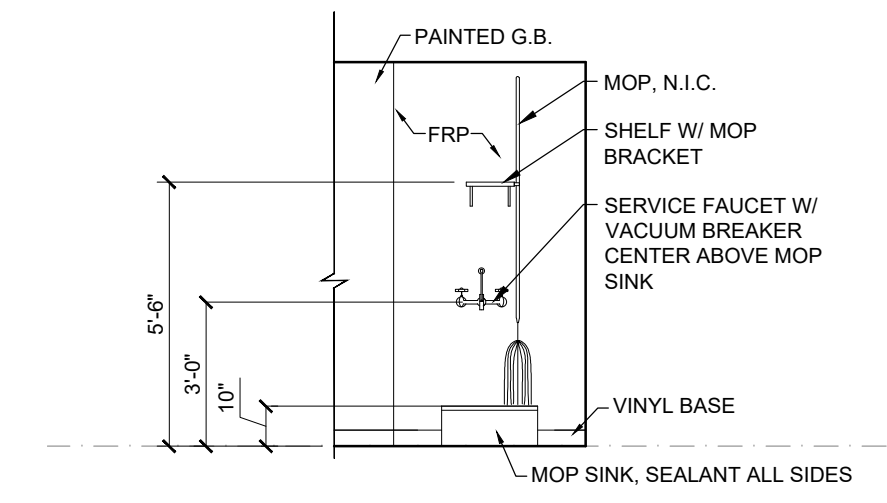
TRAVIS MILLER DATE: 9-19-23 LIC. # 45743



1 INTERIOR ELEVATION @ MEN'S LOCKER ROOM  
1/4" = 1'-0" ON 24 X 36 PAPER



2 INTERIOR ELEVATION @ WOMEN'S LOCKER ROOM  
1/4" = 1'-0" ON 24 X 36 PAPER



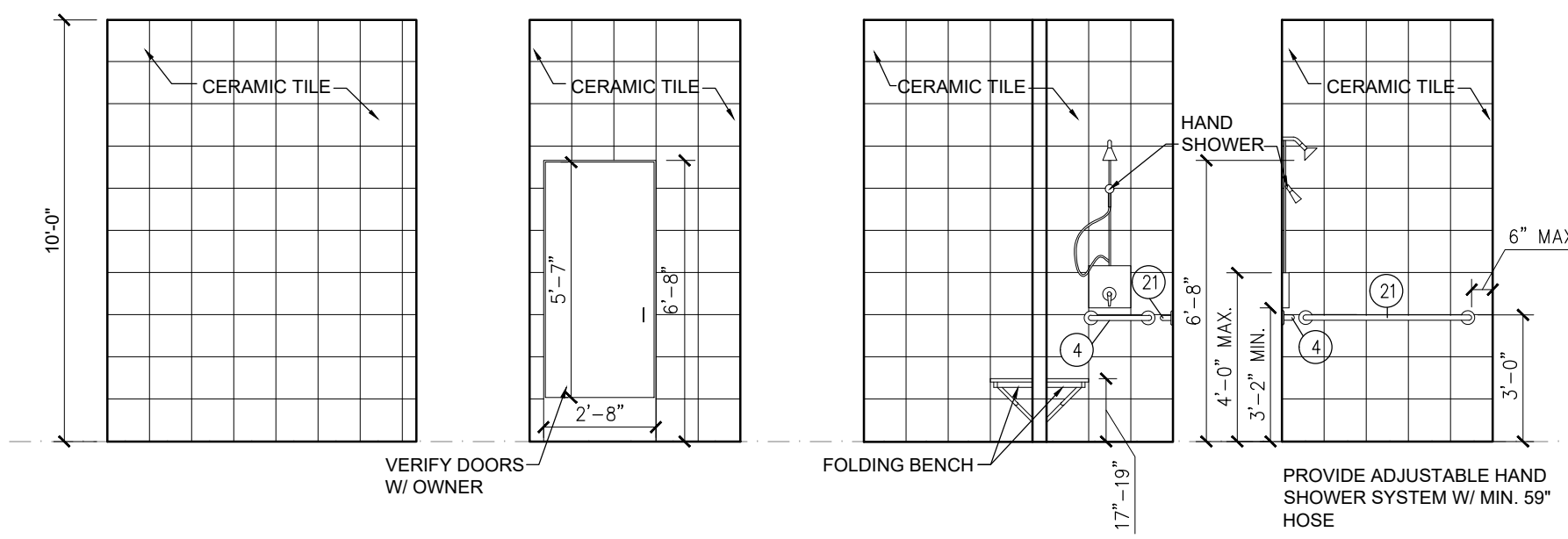
3 INTERIOR ELEVATION  
1/4" = 1'-0" ON 24 X 36 PAPER

4 INTERIOR ELEVATION  
1/4" = 1'-0" ON 24 X 36 PAPER

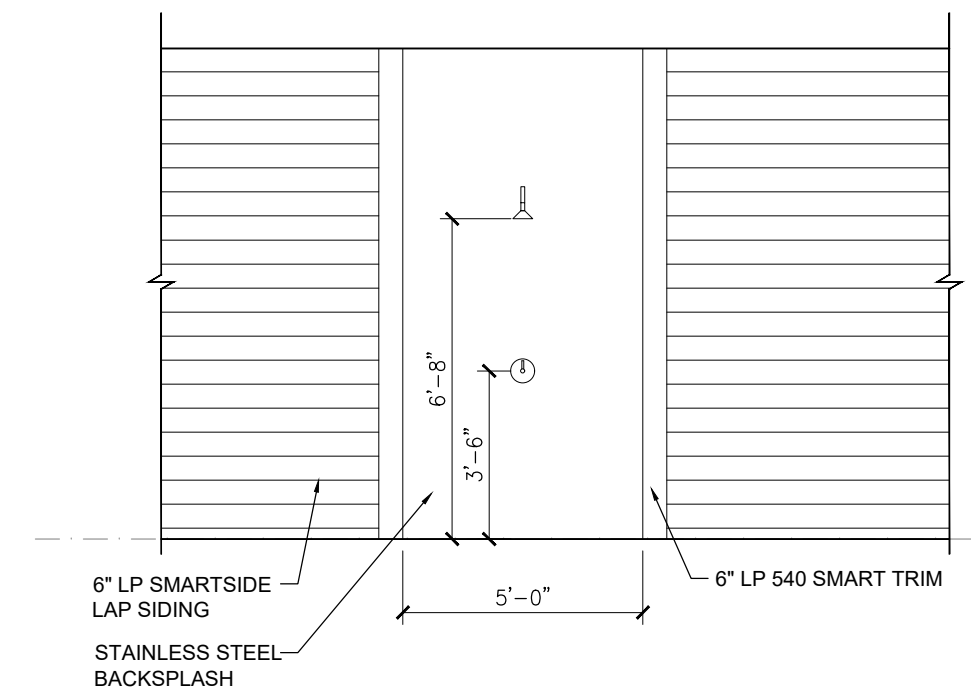
5 INTERIOR ELEVATION  
1/4" = 1'-0" ON 24 X 36 PAPER

TOILET ACCESSORIES SCHEDULE					
ITEM	DESCRIPTION	MFR	MFR. NUMBER	FINISH	REMARKS
1	SOAP DISPENSER	ASI	0347	SS	-
2	MIRROR	-	-	-	-
3	COMBO TOWEL/RECEP	ASI	20469-9	SS	SURFACE MOUNT
4	18" GRAB BAR	ASI	3800-P-01 X 18"	304 SS	PEENED, VERTICAL
5	36" GRAB BAR	ASI	3800-P-01 X 36"	304 SS	PEENED, HORIZONTAL
6	42" GRAB BAR	ASI	3800-P-01 X 42"	304 SS	PEENED, HORIZONTAL
7	COAT HOOK	ASI	0714	CHROME	-
8	TOILET TISSUE DISP.	ASI	0030	SS	-
9	TOILET PARTITION	-	-	-	FRAMED WALL
10	URINAL SCREEN	-	-	-	FRAMED WALL
11	TOILET	KOHLER	K-96558-0 - HIGHCLIFF ULTRA	WHITE	ADA FLUSH VALVE
12	URINAL	KOHLER	K-FR4991-T-TH-NA BARDON	WHITE	FLUSH VALVE
13	LAVATORY	CORIAN	-	WHITE	INTEGRAL/UNDERMOUNT
14	BATH FAUCET	AM STND	6055105 002 SELECTRONIC	CHROME	BATTERY-TOUCHLESS
15	MOP SINK	MUSTEE	63M	WHITE	-
16	MOP SINK FAUCET	KOHLER	K-837T60-4A-CP - TRITON BOWE	CHROME	SERVICE SINK FAUCET
17	KITCHEN SINK	ELKAY	D23321	SS	-
18	KITCHEN FAUCET	KOHLER	K-30614-CP - JOLT	CHROME	-
19	WATER COOLER	ELKAY	EZSTL8WSVRLK	SS	HI-LO W/ BOTTLE FILLER
20	CHANGING TABLE	KOALA	KOALA KARE KB300-00	POLY	BEIGE
21	48" GRAB BAR	ASI	3800-P-01 X 48"	304 SS	PEENED, HORIZONTAL

NOTES:  
1. MODELS SCHEDULED FOR BASIS OF DESIGN. VERIFY W/ OWNER.  
2. SEE DETAIL 4/T1 FOR TYPICAL MOUNTING HEIGHTS.

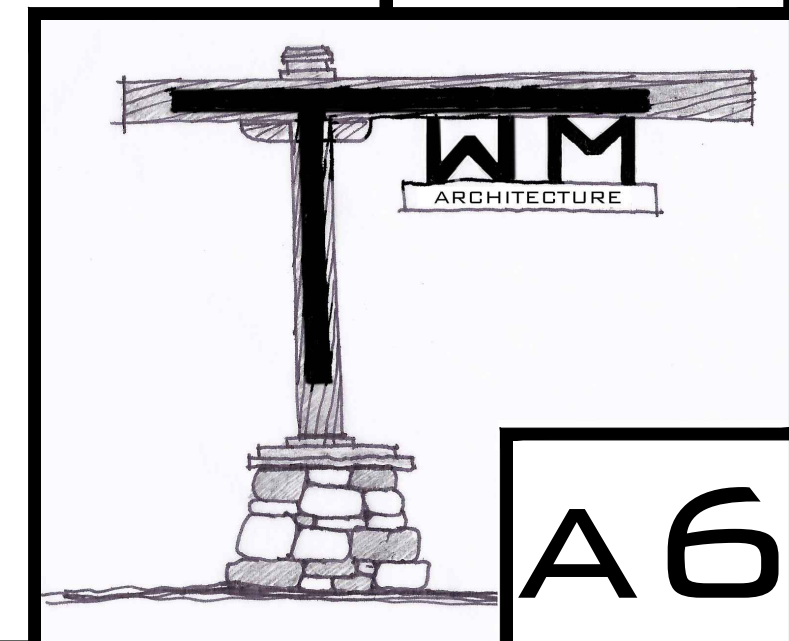


6 INTERIOR ELEVATION @ ROLL-IN SHOWER  
1/8" = 1'-0" ON 24 X 36 PAPER



7 OUTDOOR SHOWER  
1/8" = 1'-0" ON 24 X 36 PAPER

WEALTHWOOD RV PARK  
POOL BUILDING  
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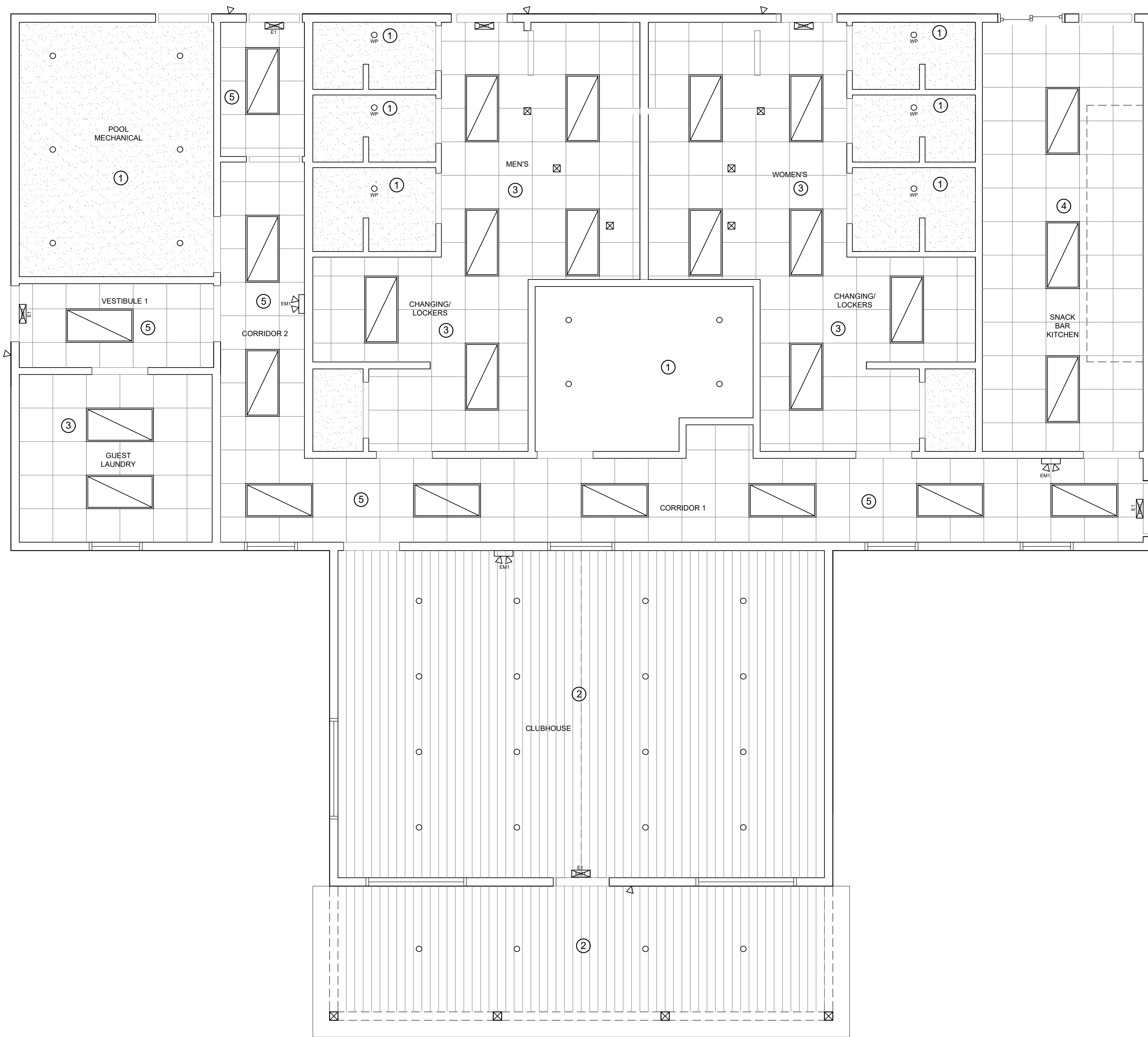
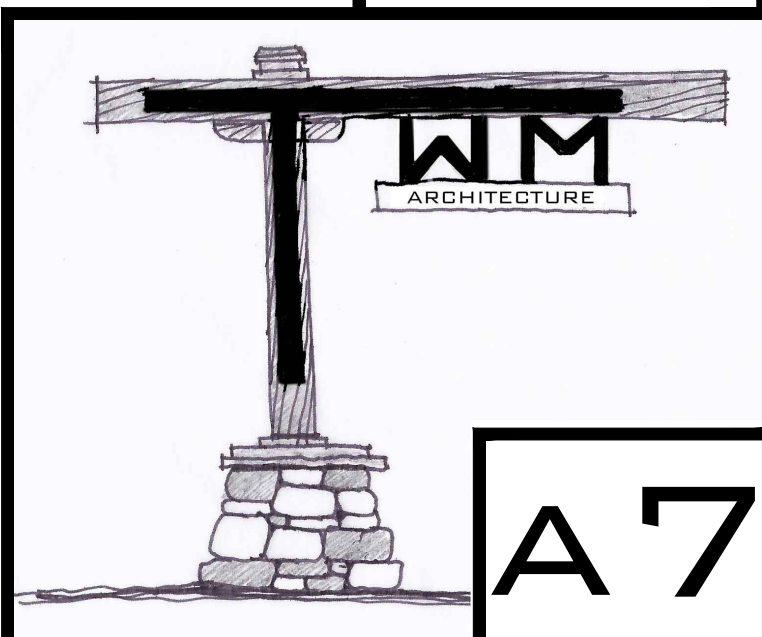
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DATE: 9-20-23

TRAVIS MILLER

# WEALTHWOOD RV PARK POOL BUILDING

37433 246TH ST  
AITKIN COUNTY, MN



**REFLECTED CEILING PLAN KEY NOTES:**

- ① GYP. BOARD CEILING - KNOCK DOWN (KD) FINISH
- ② 1X6 T&G, STAINED CEILING
- ③ 2X2' A.C.T. & GRID
- ④ 2X2' WASHABLE A.C.T. & GRID (FOOD GRADE)
- ⑤ 2X2' 1 HR. FIRE RATED A.C.T. & GRID

**REFLECTED CEILING PLAN GENERAL NOTES:**

- 1. COORDINATE LAYOUT W/ DESIGN BUILD ELECTRICAL & MECHANICAL CONTRACTORS
- 2. MAXIMIZE ALL CEILING HEIGHTS. COORDINATE WITH ELECTRICAL AND MECHANICAL SYSTEMS.
- 3. LIGHT FIXTURES ARE A SCHEMATIC LAYOUT. FINAL LAYOUT BY DESIGN BUILD ELECTRICAL CONTRACTOR, COORDINATE FIXTURE LOCATION W/ HVAC DIFFUSERS, RETURNS, ETC.

**ELECTRICAL SYMBOLS**

	EMERGENCY		EXIT SIGN
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**1 REFLECTED CEILING PLAN**  
1/4" = 1'-0" ON 24 X 36 PAPER